

BOROUGH OF BERGENFIELD
198 North Washington Avenue | Bergenfield, NJ 07621
201.387.4055 | www.bergenfield.com

**SUNSHINE NOTICE
BOROUGH OF BERGENFIELD
ZONING BOARD OF ADJUSTMENT
REORGANIZATION & REGULAR MEETING
VIA ZOOM
CHANGE OF MEETING DATE & TIME**

The Zoning Board of Adjustment Re-Organization and Regular Meeting scheduled for Monday, January 4, 2021 via Zoom has been changed to January 11, 2021. The meeting will commence at 7:30 PM.

Please be advised due to the current state of emergency and public health emergency declared by Governor Phil Murphy pursuant to Executive Order No. 103, and in an effort to prevent further spread of COVID-19, the Borough of Bergenfield Zoning Board of Adjustment meeting will be held via teleconference using Zoom in lieu of an in-person meeting.

Members of the public can join this meeting from their computer, tablet, or smartphone. Members of the public who join this meeting will be able to give public comment during the relevant portions of the meeting. The meeting link and telephone number to join the meeting will be provided on the Borough of Bergenfield website at www.bergenfield.com.

The Zoning Board of Adjustment agenda for this meeting can be reviewed and downloaded from the Borough website.

Please visit the Borough website on www.bergenfield.com for updates and additional information on this meeting.

Hilda Tavitian, Clerk
Zoning Board of Adjustment
Borough of Bergenfield

***THIS IS A PUBLIC NOTICE, NOT A PAID LEGAL AD.**

December 28, 2020

**BERGENFIELD ZONING BOARD OF ADJUSTMENT
REORGANIZATION MEETING VIA ZOOM
JANUARY 11, 2021 7:30 PM**

AGENDA

MEETING CALLED TO ORDER

OPEN PUBLIC MEETING STATEMENT

Notice of this meeting was provided to the Record and the Twin Boro News, posted on two municipal public notice bulletin boards and published on the borough website. Exits are provided in the rear and to your left. All in attendance are requested to turn off cell phones.

Any board member having a conflict of interest involving any matter to come before the board this evening is reminded they must recuse himself/herself from participating in any discussion on that matter and step down from the dais during those discussions.
Please rise for the Pledge of Allegiance.

PLEDGE OF ALLEGIANCE

INTRODUCTORY STATEMENT

Welcome to the Zoning Board of Adjustment. Let me briefly explain what we do. We are appointed by the Bergenfield Council to decide when a property owner should get relief from the strict application of the zoning code requirements. Typically, we hear two types of variances. The first is whether an applicant can vary from land restrictions including rules on sideline distance, height, and lot coverage. That is commonly called a bulk variance. The second is a use variance, where an applicant wants to use the property for a purpose not permitted under the zoning ordinance in that zone.

In these cases, the applicant has the burden of meeting certain criteria set forth in the Municipal Land Use Act. We carefully listen to the testimony, including objectors, and review all relevant documents. If a majority of the Board concludes that the applicant has satisfied those criteria, we must grant the requested variance.

ROLL CALL

Nomination of Chair:

Motion by:

Second by:

Nomination of Vice-Chair:

Motion by:

Second by:

Nomination of Secretary:

Motion by:

Second by:

Nomination of Board Attorney:

Motion by:

Second by:

Nomination of Board Engineer:
Motion by:
Second by:

Nomination of Board Clerk:
Motion by:
Second by:

Accept By-Laws:
Motion by:
Second by:

Accept 2021 Meeting Dates:
Motion By:
Second By:

APPROVE MINUTES OF PREVIOUS MEETING – December 7, 2020
Motion from board members to approve minutes.

CORRESPONDENCE

Mr. Dean Stamos - Requesting one year extension for Shanty, LLC, 51 E. Main Street

VERBAL COMMUNICATIONS
Comments by members of audience on matters not on evening’s agenda

OLD BUSINESS

Application: 145 West Main Street, LLC
 145 West Main Street
 Change of use to a multi-family dwelling R-5 zone to RM zone

NEW BUSINESS

- 1. Genevieve McCarthy
 78 Lake Street
 An addition

- 2. Samuel Moer
 40 Laurel Court
 An addition/alteration

MOTION TO ADJOURN MEETING

NOTE: No applications will be heard by the Board that were not on the agenda at the time of publication release to the newspaper or applications that do not comply with Article VIII title “Hearings contained in the By-Laws of the Bergenfield Board”.

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 145 West Main Street LLC

ADDRESS 492 Cedar Lane, Ste 519, Teaneck, NJ 07666

OWNER'S NAME Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02

OWNER'S ADDRESS _____ PHONE # _____ and 6.03)

FED I.D.# or S S _____

Applicant will be represented at public hearing by Matthew G. Capizzi, Esq.

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the
requirements of Section(s) See bulk table on site plan and/or from the
requirements of the Scheduled Limiting Bulk of Buildings of
the Zoning Ordinance in accordance with plans and
specifications attached hereto and/or decision of Zoning
Officer. The location of this property is at
NUMBER: 145 West Main Street

DESIGNATED AS Block(s) 106 and Lot(s) 6.01-6.03
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE xxx FRONT YARD x REAR YARD xxx SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____
Max Impervious Lot Coverage, Min On Site Parking, Use,
Max Building Height, and Min Front Yard Setback @ N Franklin Ave.

THE REASON FOR DESIRED VARIANCE/APPEAL
At the time of the public hearing, a professional planner will testify as to the variance criteria _____

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 150.41 x 96.20 2. SQUARE FEET IN LOT 15,215
3. SIZE OF PRESENT BUILDINGS x 4. STORIES 2
- x
5. TOTAL AREA 15,215 SQ. FT. 6. NUMBER OF ROOMS See Architectural Plan
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 7.54 %
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single family residence
-
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES xxx (Sanitary Easement)
NO _____ (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____
Residential, Commercial and Public School
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
PREMISES? YES xxx NO _____ IF SO, DATE FILED _____
- DISPOSITION Major Subdivision
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
ORDINANCE? YES _____ NO xxx (IF SO, EXPLAIN) _____
-
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO x
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO x
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
MUNICIPALITY? YES _____ NO x
-

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES xxx NO
17. SIZE OF NEW ADDITION x SQ. FT. See Site Plan
 AREA HEIGHT
18. SIZE OF NEW BUILDINGS 55 x 110 SQ. FT.
 AREA 32.99ft HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
43.38% %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Multi-Family Building

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

AFFIDAVIT OF OWNERSHIP


STATE OF NEW JERSEY,
COUNTY OF BERGEN

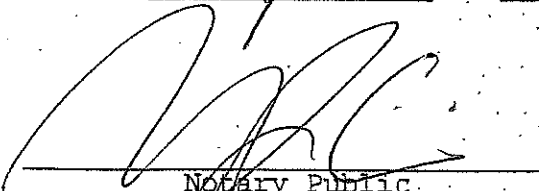
SS:

Menachem Stein, Owner of
Lot 6.01 LLC and Lots 6.02 & 6.03 LLC of full age, duly sworn
according to the law, deposes and says that he resides at
492 Cedar Lane, Suite 519 in the Borough of Teaneck
in the County of Bergen in the State
of New Jersey that he is the owner in fee of real
property lying in the Borough of Bergenfield, known and
designated as number 145 West Main Street and that he
hereby authorizes Matthew G. Capizzi, Esq. to make the
within application in his behalf and that the statements in
the said application are true.

SWORN TO BEFORE ME THIS 7th

DAY OF May 19 2020


Owner


Notary Public

Matthew Capizzi, Esq. - Attorney At Law

Note: all partnership and corporations must supply a list of
stockholders with a 10% or greater share, that they must also
be represented by an Attorney at the hearing.

BOROUGH OF BERGENFIELD
APPLICATION FOR SITE PLAN APPROVAL

1. Applicant's name 145 West Main Street LLC Phone (H) _____
(B) _____
Applicant's address 492 Cedar Lane, Ste 519, Teaneck, NJ 07666
2. Name of present owner, if other than #1 _____
Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02 and 6.03)
3. Location of property 145 West Main Street
4. Block(s) 106 Lot(s) 6.01-6.03 Zoning district R-5
5. Structural plans Yes X No ___ Front Elevation Yes X No ___
6. Name of development, if any _____
7. Are all lots to be approved owned by same person,
corporation, or partnership? Yes xxx No _____
8. If answer to #7 is no, give names of all owners. _____

9. Proposed uses of land and buildings
A. Multiple family dwelling structures Yes _____
Number of dwelling units 16
B. Commercial Use _____ C. Industrial Use _____
D. Other _____
10. If 1, 2 or 9 is in the name of a partnership or
corporation, list name and address of the attorney who
will represent the applicant. Matthew G. Capizzi, Esq.
11 Hillside Avenue, 2nd Fl., Tenafly, NJ 07670 Phone 201-266-8300
11. Name of architect/engineer/surveyor Michael Hubschman P.E., P.P.
Hubschman Engineering Address 263A S. Washington St., Bergenfield, NJ 07621
Phone 201-384-5666 Chris Blake Architect, 24 New Bridge Road, Bergenfield NJ, 07621
201-816-9523
12. Name & Address of site planner if other than #11 _____
Phone _____
13. Land area sq. ft. 15,215 Landscape area sq. ft. _____
Impervious surface area sq. ft. 10,789
14. Building area sq. ft. 6,600 structure height 32.99ft
stories 3
15. Parking spaces required 30 parking spaces
provided 25

16. Parking space dimensions, Width⁹ Length¹⁸ Driveway
aisle width _____ Angle of parking: Parallel _____ 45
_____ 60 _____ 90 _____
17. Loading space(s) required NA Proposed loading
spaces _____
18. Loading space dimensions Width _____ Length _____
19. Are any new signs proposed Yes _____ No xxx
20. Existing signs, None xxx Will Remove _____ To Remain
_____ Renovate _____
21. Are there any deed restrictions in force on this
property? Yes _____ No xxx If yes, include a copy
of the deed.
22. Is this or any part of this property in flood zone?
Yes _____ No xxx
23. Does this property border any county road? Yes _____ No xxx
24. Are there presently any utilities to this property?
Gas, xxx Electric, xxx Storm drains, _____
Telephone, _____ Cable TV, _____ Sanitary Sewers, xxx
25. Is this property within 200' of any other municipality?
Yes _____ No xxx
26. Are any variances required because of this application?
Yes xxx No _____
27. If answer to #26 was yes, state all variances required.
Use xxx Lot area _____ Lot frontage _____
Front yard xxx* Side yard _____ Rear Yard xxx
Total side yard _____ Parking xxx Buffer _____
Other Maximum Impervious Lot Coverage, Maximum Lot Coverage, Building Height, and
and Minimum Front Yard Setback @ N Franklin Ave.
28. Has a previous variance application been filed on this
property? Yes xxx No _____
29. Is this application filed because of existing zoning
violation? Yes _____ No xxx

All questions must be answered or this application may be
deemed to be incomplete.

I, certify the above information and documents accompanying
this application are true. (Willfully false statements are in
violation of the law).

X [Signature] / _____ / _____
Signature of Applicant Date Signature of Owner if Date
other than applicant



CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

May 28, 2020

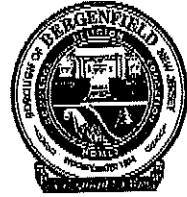
145 W. Main Street, LLC
145 W. Main Street
Bergenfield, NJ 07621

RE: Multi-family Dwelling

Dear 145 W. Main Street, LLC

Your application for change of use to a multi-family dwelling R-5 Zone to RM Zone has been denied for the following reasons:

1. Change of use from R-5 to RM Zone.
2. Maximum density 12 units per acre 43,560 sq. feet. Proposed 16 units on 14,469 sq. feet.
3. Minimum front yard setback R-5 & R-6 25 sq. feet. Proposed front yard 22.9 sq. feet.
4. Minimum rear yard setback R-5 & R-6 25 sq. feet. Proposed rear yard 20 sq. feet.
5. Maximum lot coverage allowed R-6 over 6,000 sq. feet or 30%. Proposed lot coverage 43.38 %.
6. Maximum total improved lot coverage R-6 over 6,000 sq. feet or 35%. Proposed lot coverage 70.91%
7. Required multi-family dwelling units set back 35 sq. feet from front property line and a least 25 sq. feet from any other property line or from curb to street. (see 186-57 yards). Proposed 22.9 sq. feet front yard, 15 sq. feet from both side yards.
8. 186-55 design requirements, site plan for any multi-family development shall not be less than 20,000 sq. feet. Proposed 14,469.44 sq. feet.
9. Minimum required parking for occupants only 32 spaces not including visitor spaces. Proposed 25 parking spaces including two (2) handicap spaces.



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

January 27, 2020

Matthew G. Capazzi, Esq
11 Hillside Avenue, second floor.
Tenafly, NJ 07670

RE: Multi-Family Residential Building, 145 W. Main St.

Dear Mr. Capazzi,

Your application to build a multi-family residential building has been denied for the following reasons:

1. A multi-family building is not permitted in the R-6 zone.
2. Front yard setback required is 25 sq. feet where 20.95 sq. feet is proposed (W. Main).
3. Rear yard setback required is 25 sq. feet where 18 sq. feet is proposed.
4. Maximum building coverage permitted is 30% where 41.24 % is proposed.
5. Maximum building height permitted is 30 feet where 36.4 feet is proposed.
6. Maximum number of stories permitted is 2 where 3 are proposed.
7. Maximum improved lot coverage permitted is 35% where 75.16% is proposed.
8. Number of parking spaces required is 29 where 15 are proposed.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

A handwritten signature in black ink, appearing to read "Harry W. Hillenius", is written over a horizontal line.

Harry Hillenius
Zoning Officer

Borough of Bergenfield
Site Plan Committee Minutes
February 10, 2020

1. Call to Order

The meeting was called to order at 7:00 PM

2. Roll Call:

<u>Richard Morf</u>	<u>Robert Rivas</u>		
<u>Gerard Naylis</u>		<u>John Pampaloni</u>	<u>Michael Ravenda</u>
<u>Perry Sulich</u>	<u>Joseph Scalora</u>		
<u>Robert Giacomelli</u>	<u>R Mader</u>		

3. Item 1.

JAH Realty Association

Site Address: 205-207 North Washington Avenue

Seeks to convert first floor office space into 4 - 1 bedroom apartments.

Attorney: Matthew Capizzi
11 Hillside Avenue
Tenafly, NJ 07670
201-266-8300

Architect: Chris Blake Architect
24 New Bridge Road
Bergenfield, NJ 07621
201-816-9523

Engineer: Hubschman Engineering
263 A. South Washington Avenue
Bergenfield, NJ 07621
201-384-5666

Owner was represented by Mr. Capizzi and Mr. Hubschman

Mr. Capizzi introduced the project:

- * Convert existing first floor office space into 4 – 1 bedroom apartments,
The building currently has 4 – 1 bedroom apartments on the second floor and
Office space on the first floor.
- * The office space has been vacant for years
- * The new use will greatly reduce the existing parking non-conformity
 - existing use requires 25.8 spaces
 - proposed use will require 14.4 spaces
 - there are 12 spaces currently
- * The owner will continue to be responsible for garbage/recycling and snow removal

4. Item 2.

145 West Main Street LLC

Menachem Stein

492 Cedar Lane, Ste. 519

Teaneck, NJ 07666

Site Address 145 West Main Street

Seeks to build a 15 unit apartment building: 5 – 1 bedroom units 10- 2 bedroom units

Attorney: Matthew Capizzi

11 Hillside Avenue

Tenafly, NJ 07670

201-266-8300

Architect: Chris Blake Architect

24 New Bridge Road

Bergenfield, NJ 07621

201-816-9523

Engineer: Hubschman Engineering

263 A S. Washington Avenue

Bergenfield, NJ 07621

201-384-5666

Mr. Capizzi introduced the project:

- * His client purchased 3 lots on West Main Street
- * Seeking to build a 15 unit apartment building
- * Seeking use and several bulk variances

Mr. Hubschman went over site plan/architectuals:

- * 15 unit building - 3 floors- 10- 2 bedroom units, 5- 1 bedroom units
- * Entrance only from west Main
- * Entrance/exit from N. Franklin
- * Drive under rear of building to parking at back of property
- * Existing 12' sewer easement will remain
- * Stormwater retention system is under rear parking lot

Board Comments:

Mr. Scalora:

- Concerned about the 81 trees being planted around perimeter.
- Questioned the size of the rooms and the ceiling height in relation to the height of building

Mr. Hubschman:

- Landscaping can be adjusted
- Height variance is only needed because of slope of property in the rear

Mr. Naylis:

- Project exceeds density, from 3 – 1 family homes to 15 units

Mr. Morf:

- Entire proposal is too much, parking, height, set backs, lot coverage all problems
- Too big for lot size

- Traffic problems with the school across the street
- Not permissible in R-5 zone
- Worried about setting a precedent

Mr. Naylis:

- Planning board changed the height requirements for B1 & B2 trying to push this type of development into those zones
- That is where this building belongs

Mr. Ravenda:

- Try and buy 2 rear lots to make the project at least somewhat compliable.
- Concerned about the traffic and the school

Mr. Capizzi:

- The school traffic and street closing will have to be resolved because the 2 rear lots have been approved

Mr. Morf:

- Single family homes should be built

Mr. Capizzi:

- The area is currently mixed use

Mr. Morf:

- As existing businesses leave, the property can only be developed as residential

Mr. Naylis:

- The project is too big and will be knocked down as it is.

Mr. Capizzi:

- Can we downsize it
- What about affordable housing units

Mr. Morf:

- Cut the top floor off
- Or remove 1 quadrant completely
- Eliminating 4 2 bedrooms and 2 1 bedroom units

Mr. Rivas:

- Removing quadrant will allow entrance and exit on West Main
- No access from N Franklin

Mr. Perry:

- Question impact on school by adding 15 units
- Is there an elevator or walk up

Mr. Capizzi:

- No elevator

Mr. Ravenda:

- The parking is a major issue, the project needs to be reduced in size
- Concerned about school crossing, is there a patrolman at the corner?

Mr. Mader:

- There is only a crossing guard at that corner

Mr. Giacomelli:

- How are you going to handle garbage
- Where are you going to put the bins
- Snow will have to be trucked off of site

Mr. Naylis:

- The fire trucks will operate from N. Franklin and West Main St. no need to fit on property
- Questioned attic construction and space

- Suggested installing a dry sprinkler system for the attic space piped to a FDC at edge of property. The owner can still use a 13r system but the attic would be covered by the dry system.

Mr. Pampaloni:

- The plan called for the sewer to be tied into the 24" line in the existing easement.
- This line carries 40% of Bergenfield's sewage and ties directly into a line that carries 90% of the sewage.
- This line during storms becomes full and it takes days for it drain.
- The building will not drain into it during those times
- Tie in building sewer into 8" line on West Main which is higher than the 24" line

Mr. Capizzi:

- For the project to work, even if they scale it back, they will still need relief for:
 - o Height
 - o Parking
 - o Setbacks
 - o Lot coverage

Board Recommendations:

- **Project needs to be reduced dramatically:**
 - o Density
 - o Height
 - o Lot coverage
- **Reduce overall building by 30%**
- **Relocate sewer to West Main Street**
- **Ingress/egress only from West Main Street**
- **Eliminate any access to N Franklin**

Meeting Adjourned at 8:11PM

GENERAL NOTES

- TOTAL LOT AREA = 15,215 S.F. (0.349 Ac.)
- ELEVATIONS BASED ON NGVD 1929.
- LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL DAMAGED CURB AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- EXISTING IMPERVIOUS AREA = 2,976 S.F.
PROPOSED IMPERVIOUS AREA = 10,789 S.F.
TOTAL INCREASE = 7,813 S.F.
- CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
- APPLICANT AND/OR CONTRACTOR SHALL CONTACT MR. ED RAYETINE, DEPARTMENT OF PUBLIC WORKS INSPECTOR, AT (201) 336-6815 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- ANY PROPOSED PLANTINGS ALONG THE PROPERTY FRONTAGE WITHIN THE SIGHT TRIANGLE AREA SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG KNICKERBOCKER ROAD.
- ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION, SPECIFICALLY REGULATORY WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING SERIES 4,000 TYPE XI DESIGNATION PER ASTM.
- ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEWER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND AMENDMENTS BY THE NJDOT AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUTTER RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & CULVERTS AND ROADWAY CONSTRUCTION, OMISSION AND/OR CORRECTIONS DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- COUNTY SIGHT DISTANCE CRITERIA - THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHOULD BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCES REFLECT MAXIMUM CLEAR SIGHT DISTANCE.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-43.) A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- ALL EXISTING OR PROPOSED SIDEWALKS, CURBING AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE DESIGN/CONSTRUCTION OF THE HANDICAPPED RAMP AND THE TYPE OF TRUNCATED DOME SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE. PURSUANT TO TITLE 27:16-B, THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURB LINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPIDE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S "DESIGN AND CONSTRUCTION PLAN STANDARDS."
- ALL PAVEMENT MARKINGS/STRIPING WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMBELL FOUNDRY PATTERN #2817), AND "H-ED" CURB PIECES (CAMBELL FOUNDRY PATTERN #2818). ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUTE 40A:11-18.
- ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- APPLICANT SHALL PROVIDE THE COUNTY WITH REVISED DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.

I CONSENT TO THE FILING OF THIS SITE PLAN.

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

OWNER	DATE	BOROUGH ENGINEER	DATE
APPLICANT	DATE	CONSTRUCTION OFFICIAL	DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING
LOT 6.01, 6.02 & 6.03 BLOCK 106 ZONE R-5

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

DATE: SCALE: 1"=20'
APPLICANT: 145 WEST MAIN STREET, LLC
ADDRESS: C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

CONSTRUCTION OFFICIAL

BOROUGH ENGINEER

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

MICHAEL J. HUBSCHMAN, P.E.
N.J.P.E. No. 29497
TITLE AND LICENSE NUMBER

BOROUGH ENGINEER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

CONSTRUCTION OFFICIAL

By: CHAIRMAN DATE

OCCUPANCY PERMIT ISSUED

SECRETARY DATE

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

TAX COLLECTOR DATE

APPROVED BY THE COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.

BLOCK 105
LOT 2
BOARD OF EDUCATION

BLOCK 110

BLOCK 109

DRAWING LIST:

- 3821-1 SITE PLAN
- 3821-2 GRADING, DRAINAGE AND UTILITY PLAN
- 3821-3 SOIL EROSION AND SEDIMENT CONTROL PLAN, DETAILS
- 3821-4 STORMWATER MANAGEMENT DETAILS
- 3821-5 LIGHT AND LANDSCAPING PLAN, DETAILS
- 3821-6 EXISTING CONDITIONS PLAN

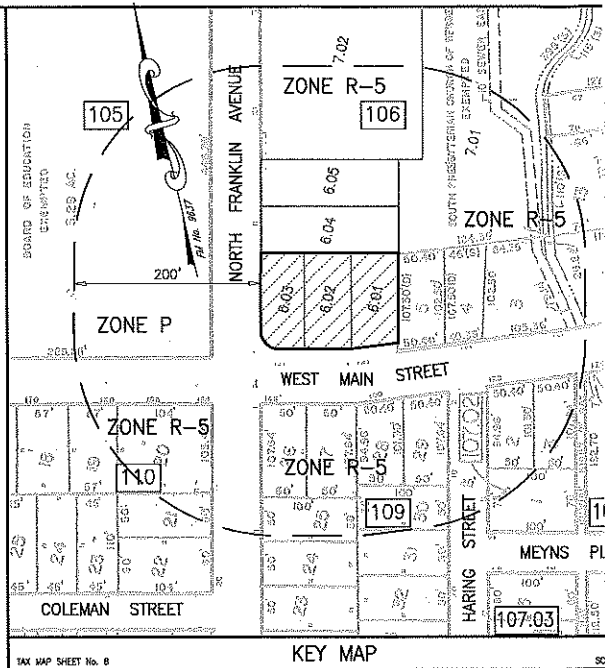
0 20 40
SCALE: 1"=20'

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC No. 37206

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. No. 29497 N.J.P.P. No. 3290

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS

DRAWN BY: B.W.
CHKD BY: MJH
SCALE: 1"=20'
DRAWING NO. 3821-1



ZONING NOTES

R-5 ZONE PROPOSED MULTI-FAMILY DWELLING			
	REQUIREMENT	PROPOSED	
MIN. LOT AREA	5,000 S.F.	15,215 S.F.	
MIN. LOT WIDTH			
WEST MAIN STREET	50 FT.	50 FT.	
NORTH FRANKLIN AVENUE	50 FT.	50 FT.	
MAX IMP. LOT COVERAGE	40%	70.91% *	
MAX LOT COVERAGE	40%	43.38% *	
MAX BUILDING HEIGHT	30 FT./ 2 STY.	32.99 FT./ 3 STY. *	
MIN. FRONT YARD			
WEST MAIN STREET	15 FT.	22.90 FT.	
NORTH FRANKLIN AVENUE	25 FT.	15.30 FT. *	
MIN. SIDE YARD (ONE)	5 FT.	15.00 FT.	
MIN. SIDE YARD (BOTH)	10 FT.	N/A	
MIN. REAR YARD	25 FT.	20.00 FT. *	
MIN. PARKING	30 SPACES	25 SPACES *	

* VARIANCE REQUIRED.

PROPOSED BLDG. COVERAGE CALC'S

FOOTPRINT	=	1,118 S.F.
OVERHANG	=	5,482 S.F.
TOTAL IMP. COV.	=	6,600 S.F./15,215 S.F. = 43.38%

PROPOSED IMPERVIOUS COVERAGE CALC'S

LOT COVERAGE	=	5,600 S.F.
PARKING & DRIVEWAY	=	3,929 S.F.
WALKS	=	260 S.F.
TOTAL IMP. COV.	=	10,789 S.F./15,215 S.F. = 70.91%

PARKING DATA

(12) - 1 BEDROOM UNIT 12 x 1.8	=	21.6 SPACES
(4) - 2 BEDROOM UNIT 4 x 2.0	=	8.0 SPACES
TOTAL	=	29.6 SPACES REQUIRED
	=	30 SPACES REQUIRED
	=	25 SPACES PROVIDED

REFERENCES

- A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCDO AS MAP No. 9837.
- BOROUGH OF BERGENFIELD TAX MAP.

SITE PLAN

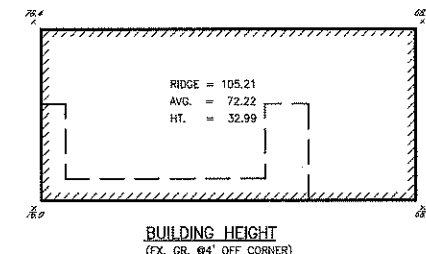
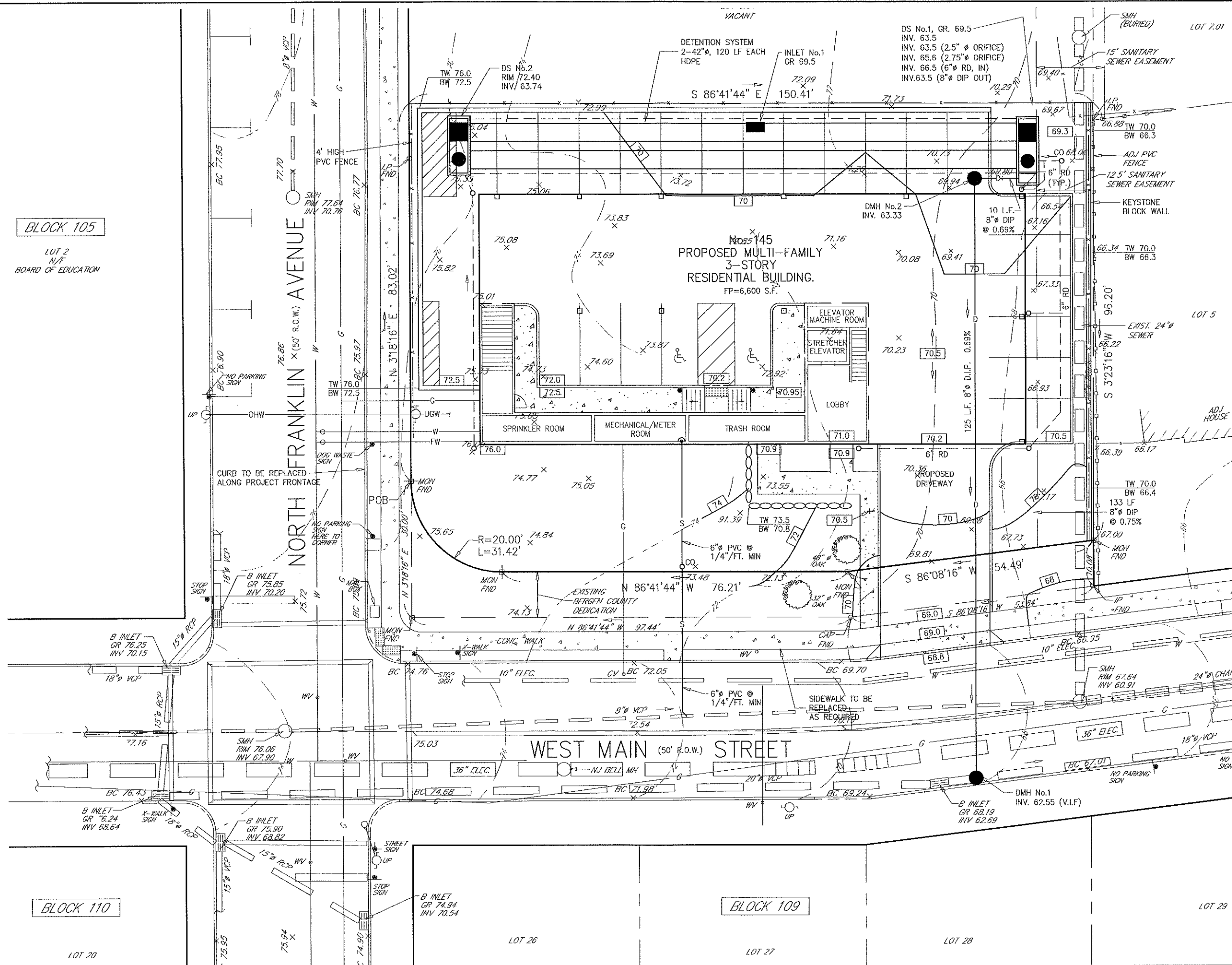
LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD BERGEN COUNTY
APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS

DRAWN BY: B.W.
CHKD BY: MJH
SCALE: 1"=20'
DRAWING NO. 3821-1

BLOCK 105

LOT 2
N/F
BOARD OF EDUCATION



1. MODIFIED BUILDING & SITE LAYOUT		5-1-20	N.M.
NO. REVISIONS		DATE	BY
GRADING, DRAINAGE & UTILITY PLAN			
LOTS 5.01, 5.02 & 5.03			
PROPOSED RESIDENTIAL BUILDING			
No. 145 WEST MAIN STREET			
BOROUGH OF BERGENFIELD BERGEN COUNTY			
APPLICANT: 145 WEST MAIN STREET, LLC			
C/O MATTHEW CAPREZZA, ESQ.			
11 HILLSIDE AVENUE, 2ND FL.			
TENAFLY, NJ 07670			

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. No. 29497 N.J.P.P. No. 3200

DRAWN BY: B.W.
CHKD BY: M.J.H.
SCALE: 1"=10'
DRAWING NO. 7000

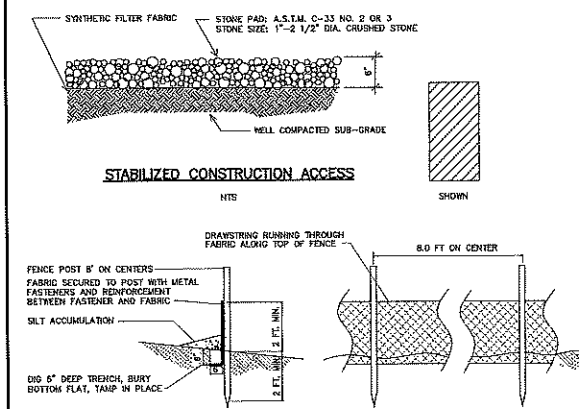
HUBSCHMAN
ENGINEERING, P.A.

BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES

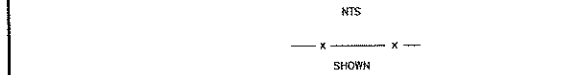
1. All soil erosion and sediment control practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and shall be installed in proper sequence and maintained with permanent stabilization as established.
2. Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with unadorned straw at a rate of 2 tons per acre, mulched by approved methods (i.e. peg and straw, mulch netting, or liquid mulch binder).
3. Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
4. **Grass Seeding and Mulching**
A. Temporary Seeding and Mulching
Ground Liner - Applied uniformly according to test test recommendations.
Fertilizer - Apply 100 lbs./1,000 sq. ft. of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
Seed - perennials (grass) 100 lbs./acre (2.5 lbs./1,000 sq. ft.) or other approved seeds, plant between March 1 and May 15 or between August 15 and October 1.
Mulch - Unadorned straw or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to surface 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or liquid mulch binder).
5. Permanent Seeding and Mulching
Topsoil - A uniform application to an average depth of 2", minimum of 4" formed in place is required.
Ground Liner - Applied uniformly according to test test recommendations.
Fertilizer - Apply 100 lbs./1,000 sq. ft. of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
Seed - Fast type tall fescue (blend of 3 cultivars) 300 lbs./acre (7.5 lbs./1,000 sq. ft.) or other approved seeds, plant between March 1 and October 1 (winter seeding requires irrigation).
Mulch - Unadorned straw or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or liquid mulch binder).
6. The site shall be graded and maintained such that all stormwater runoff is directed to soil erosion and sediment control facilities.
7. Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
8. Slopesides are not to be located within 5' of a foundation, slope, roadway or drainage facility. The base of all slopesides shall be contained by a negative external border or 2' high fence.
9. A crushed stone, which when-drawings detail will be installed wherever a construction access road intersects any paved roadway. Silt Work will be composed of 1" - 2" crushed stone, 6" thick, will be at least 30' x 10' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
10. Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
11. Driveways must be stabilized with 1" - 2" crushed stone or subbase prior to individual lot construction.
12. All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-way, will be removed immediately. Paved roadways must be kept clean at all times.
13. Catch basins shall be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
14. Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
15. Deepwater operations must discharge directly into a sediment control bay or other approved filter in accordance with Section 14-1 of the NJ Standards.
16. Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 18-1 of the NJ Standards.
17. Sites to remain under construction are to be protected with a suitable fence installed at the site per or beyond in accordance with Section 9-1 of the NJ Standards.
18. The project owner shall be responsible for any erosion or sedimentation that may occur near stormwater outlets or off-site as a result of construction of the project.
19. Any relation to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
20. A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
21. The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County SCD, 700 Hunderbuck Road, Suite 100, Hackensack, NJ 07601-4000. Fax: 201-261-7073.
22. The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
23. The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all aspects of compliance inspection. If site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

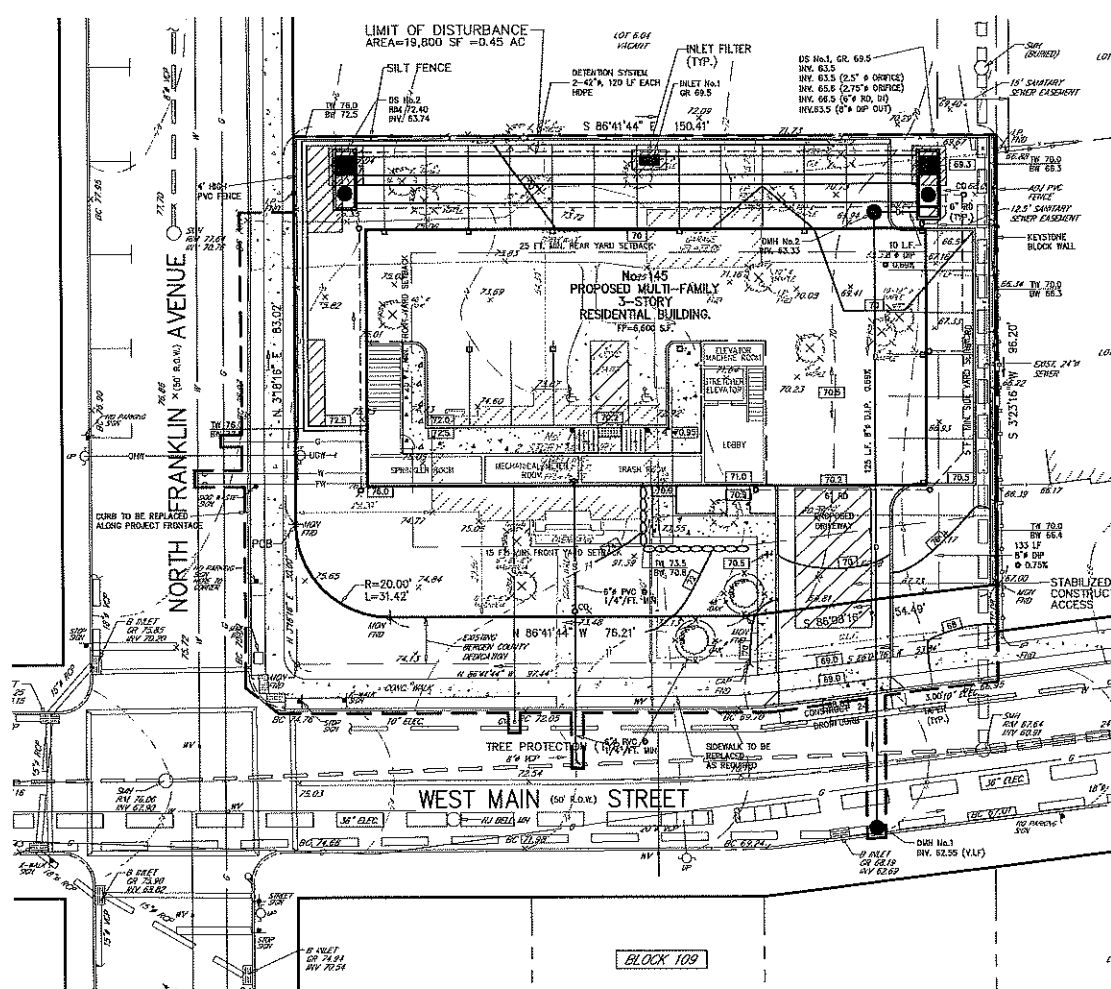
1. INSTALL 25'x50' TRACKING BED AT CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION ACCORDING TO PLAN
3. INSTALL INLET FILTER PROTECTION WHERE APPLICABLE
4. DEMOLISH EXISTING BUILDING
5. REMOVE EXISTING AND STOCKPILE
6. EXCAVATE FOR NEW BUILDING, DRIVEWAYS, AND UTILITIES
7. CONSTRUCT NEW BUILDING, PROVIDE PAVEMENT BASE COURSE ON DRIVEWAY
8. PROVIDE FINAL GRADING, TOPSOIL REPLACEMENT, AND LANDSCAPING. (QUANTIFY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", PLACED IN PLACE)
9. PROVIDE FINAL PAVING
10. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL AGENCIES



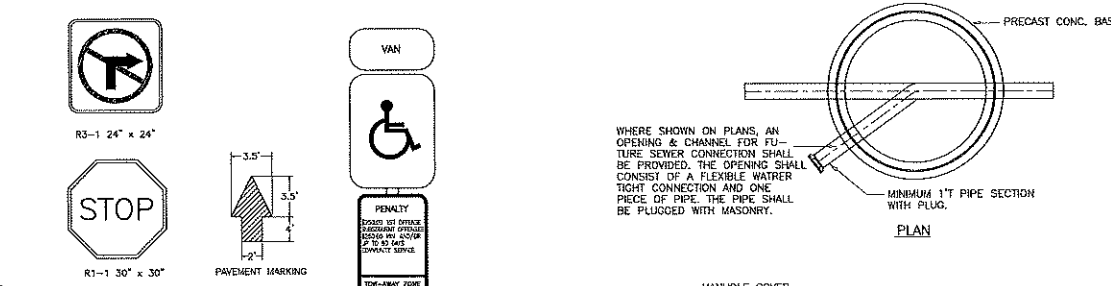
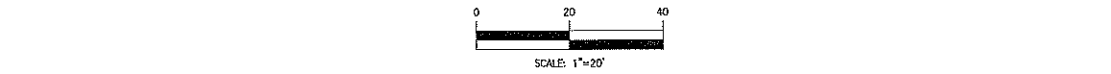
SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL



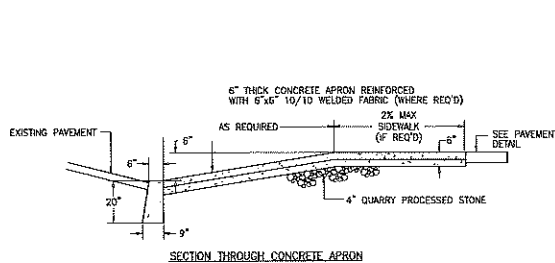
BREAKAWAY SIGN POST DETAIL



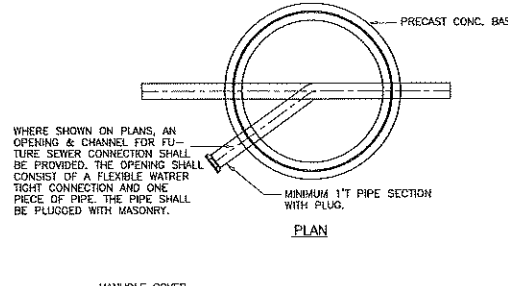
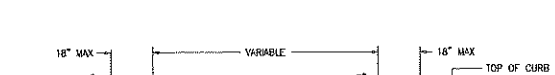
SOIL EROSION & SEDIMENT CONTROL PLAN



- SIGN NOTES:**
- 1) HANDICAP SIGN TO BE MOUNTED 5' HIGH FROM THE GROUND TO THE BOTTOM OF THE SIGN.
- ALL TRAFFIC CONTROL SIGNS MUST CONFORM IN FACE DESIGN (TYPE VI) REFLECTIVE SHEETING AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. D.O.T., FEDERAL HIGHWAY ADMIN. 2003, AS REVISED, SPECIFICALLY REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH TYPE X (DIAMOND GRADE CUBED) WIDE-ANGLE HIGH PERFORMANCE PRISMATIC RETRO-REFLECTIVE SHEETING SERIES 4090 PER 3M OR EQUIVALENT VISUAL PERFORMANCE.



DETAIL OF DROP CURB



HOUSE LATERAL AND CLEANOUT DETAIL



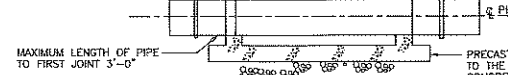
HOUSE LATERAL AND CLEANOUT DETAIL



HOUSE LATERAL AND CLEANOUT DETAIL



HOUSE LATERAL AND CLEANOUT DETAIL

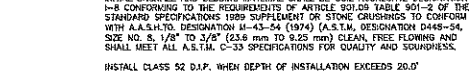


HOUSE LATERAL AND CLEANOUT DETAIL



- NOTES**
1. METAL BACKFILL AND BEDDING MATERIAL SHALL BE SOIL AGGREGATE DESIGNATION 1-B CONFORMING TO THE REQUIREMENTS OF ARTICLE 20.02 OF THE STANDARD SPECIFICATIONS 1989 SUPPLEMENT OR STONE CRUSHINGS TO CONFORM WITH A.S.T.M. DESIGNATION M-43-54 (1974) (A.S.T.M. DESIGNATION D448-54, SIZE NO. 8, 1/8" TO 3/8" (2.0 mm TO 9.5 mm) CLEAN, FREE FLOWING AND SHALL MEET ALL A.S.T.M. C-33 SPECIFICATIONS FOR QUALITY AND SOUNDNESS.
 2. INSTALL CLASS 52 D.P.F. WHEN DEPTH OF INSTALLATION EXCEEDS 20.0'

HOUSE LATERAL AND CLEANOUT DETAIL



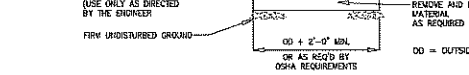
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HOUSE LATERAL AND CLEANOUT DETAIL



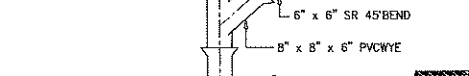
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HOUSE LATERAL AND CLEANOUT DETAIL



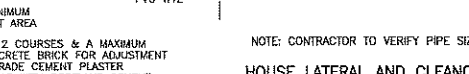
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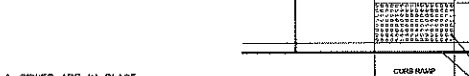
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HOUSE LATERAL AND CLEANOUT DETAIL



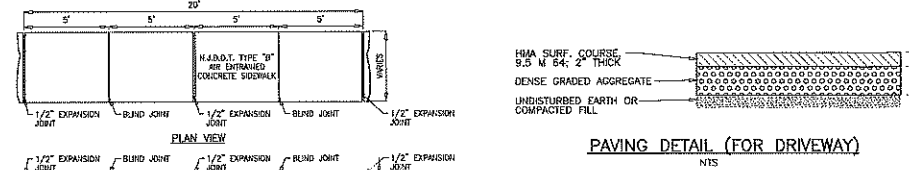
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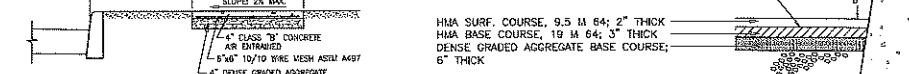
HOUSE LATERAL AND CLEANOUT DETAIL



HOUSE LATERAL AND CLEANOUT DETAIL



PAVING DETAIL (FOR DRIVEWAY)



PAVING DETAIL (FOR DRIVEWAY)



PAVING DETAIL (FOR DRIVEWAY)



PAVING DETAIL (FOR DRIVEWAY)



PAVING DETAIL (FOR DRIVEWAY)



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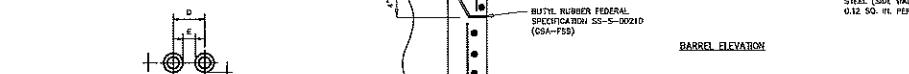
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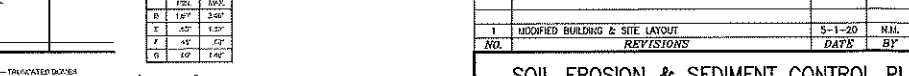
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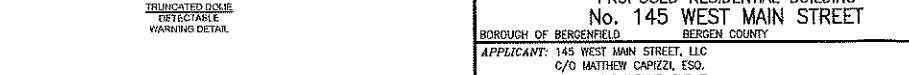
PAVING DETAIL (FOR DRIVEWAY)



PAVING DETAIL (FOR DRIVEWAY)

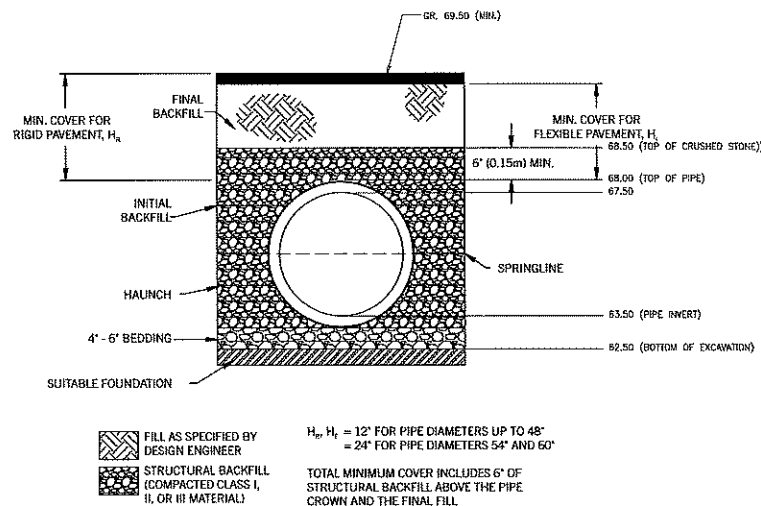
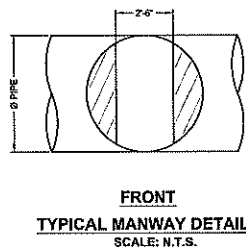
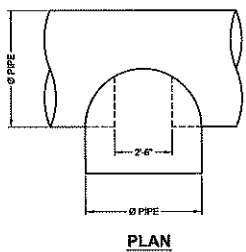
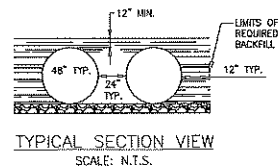
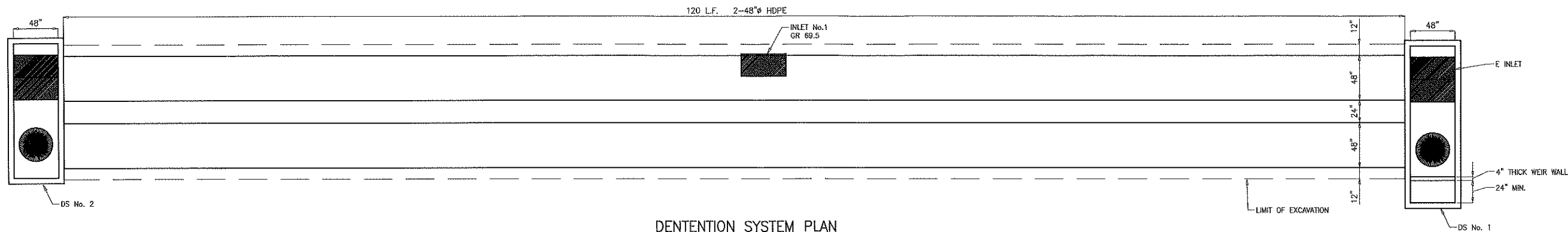


PAVING DETAIL (FOR DRIVEWAY)



PAVING DETAIL (FOR DRIVEWAY)

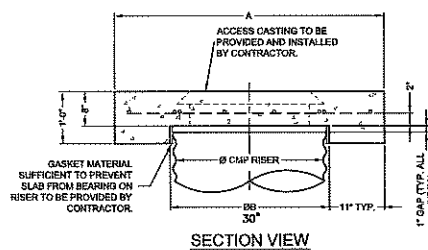
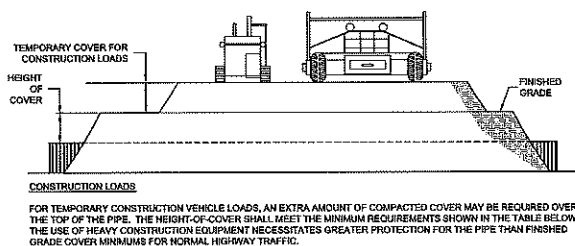
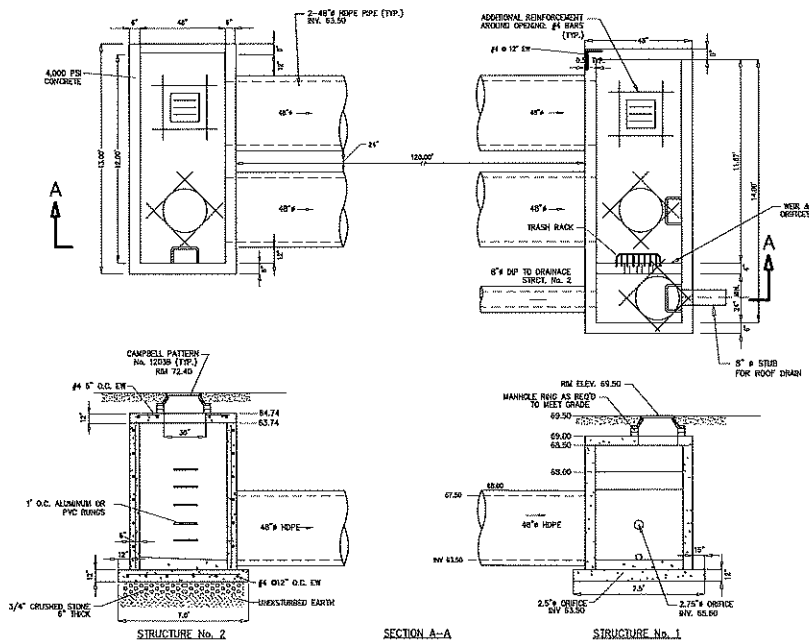
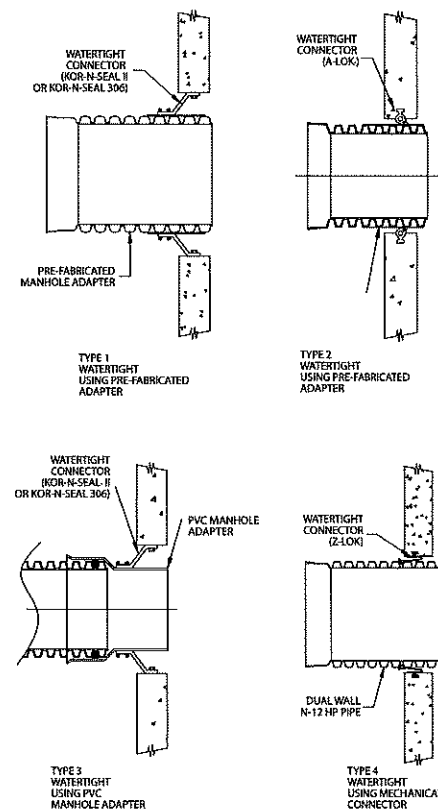




FILL AS SPECIFIED BY DESIGN ENGINEER
STRUCTURAL BACKFILL (COMPACTED CLASS II, III, OR IV MATERIAL)

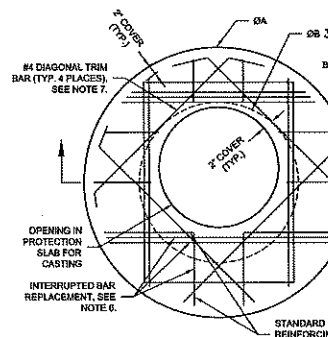
$H_{min} H_c = 12"$ FOR PIPE DIAMETERS UP TO 48"
 $= 24"$ FOR PIPE DIAMETERS 54" AND 60"

TOTAL MINIMUM COVER INCLUDES 6" OF STRUCTURAL BACKFILL ABOVE THE PIPE CROWN AND THE FINAL FILL

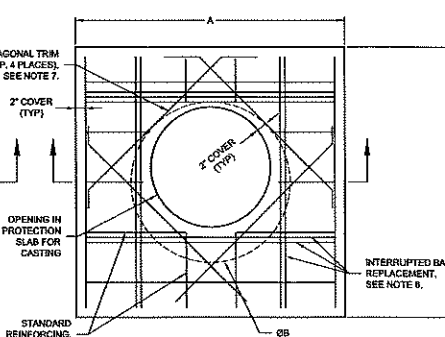


REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	"BEARING PRESSURE (PSF)
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	2,120
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530
30"	4'-0" x 4'-0"	30"	#5 @ 12" O.C.W.	1,530

** ASSUMED SOIL BEARING CAPACITY



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS20.
- EARTH COVER = 1' MIN.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, 6" IN EACH DIRECTION. ADDITIONAL BARS TO BE IN 6" DIA. EACH DIRECTION.

- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

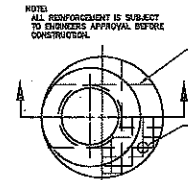
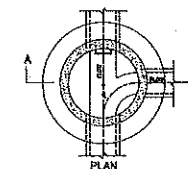
MANHOLE CAP DETAIL

HDPE PIPE CONNECTION TO MANHOLE DETAIL

NOT TO SCALE

NOTES:

- THIS MANHOLE MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK & POINTED.
- PROVIDE 7/8" DIA. X 7" X 12" ALUMINUM LADDER RUNGS, 12" O.C.
- WHEN DEPTH IS GREATER THAN 12' THE WALLS SHOULD BE EITHER 8" CONCRETE OR 8" CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
- WHEN PRECAST STRUCTURES ARE USED, CLEAN STONE SHALL BE PLACED BENEATH STRUCTURE TO A DEPTH OF 8".

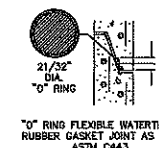


NOTES:

ALL REINFORCEMENT IS SUBJECT TO ENGINEER'S APPROVAL BEFORE CONSTRUCTION.

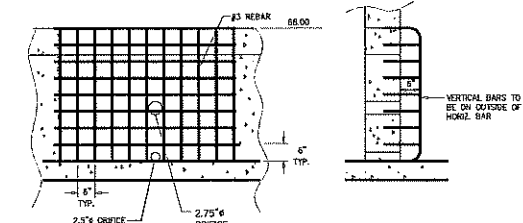
ADDITIONAL #4 BARS AT OPENING TOP AND BOTTOM.

#4 BARS AT 8" O.C. B.N. BOTTOM



21/32" DIA. "O" RING

"O" RING FLEXIBLE WATERTIGHT RUBBER GASKET JOINT AS PER ASTM C443



TRASH RACK DETAIL

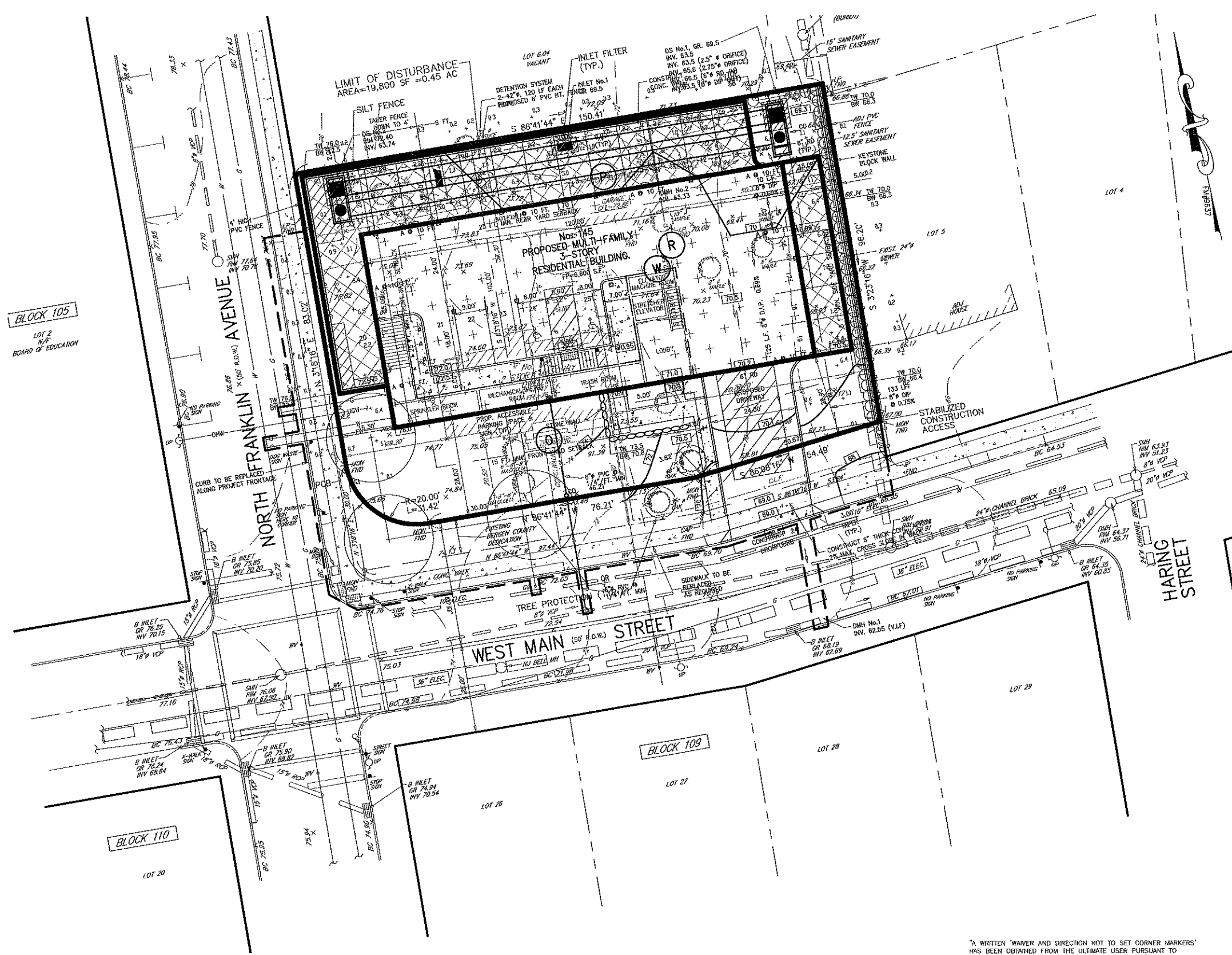
Temporary Cover Requirements for Light Construction Traffic			
Type of Vehicle	Vehicular Load at Surface psi (kPa)	Temporary Minimum Cover, in. (mm) for:	
		4" - 48" (100-1200mm) diameters	54" - 60" (1350 and 1500mm) diameters
Semi-tractor ¹	75 (517)	9 (230)	12 (300)
Loaded pick-up truck ²	50 (345)	6 (150)	9 (230)
Skid steer loader ³	25 (172)	3 (80)	6 (150)

STORMWATER MANAGEMENT DETAIL			
1	MODIFIED BUILDING & SITE LAYOUT	5-1-20	N.J.
NO.	REVISIONS	DATE	BY
PROPOSED RESIDENTIAL BUILDING No. 145 WEST MAIN STREET BOROUGH OF BERGENFIELD, BERGEN COUNTY APPLICANT: 145 WEST MAIN STREET, LLC C/O MATTHEW CAPIZZI, ESQ. 11 HILLSIDE AVENUE, 2ND FL. TENAFLY, NJ 07670			

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.

DRAWN BY: B.W.
CHKD BY: MJH
SCALE: AS SHOWN
DRAWING NO. 3801-4



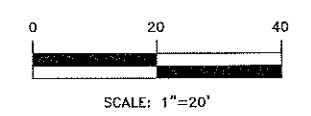
ZONING NOTES

R-5 ZONE	
MIN. LOT AREA	5,000 S.F.
MIN. LOT WIDTH	50.00 FT.
MAX. IMPROVED LOT COVERAGE	40%
MAX. LOT COVERAGE	40%
MAX. BUILDING HEIGHT	2 STY / 28FT
MIN. FRONT YARD	15/25 FT.
MIN. SIDE YARD	5.00 FT.
MIN. REAR YARD	10.00 FT.
	BOTH 25.00 FT.

NOTE: ELEVATIONS BASED ON NGVD 1929

REFERENCES

- 1) A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 9637
- 2) BOROUGH OF BERGENFIELD TAX MAP



TAX LOT 6 IN BLOCK 106

TOPOGRAPHIC SURVEY
BOROUGH OF BERGENFIELD
BERGEN COUNTY, NEW JERSEY

HUBSCHMAN ENGINEERING
ENGINEERS LAND SURVEYORS PLANNERS
263A S. WASHINGTON AVE., BERGENFIELD
NEW JERSEY 07621 (201) 384-5666

ROBERT J. MUELLER, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LIC. 37206

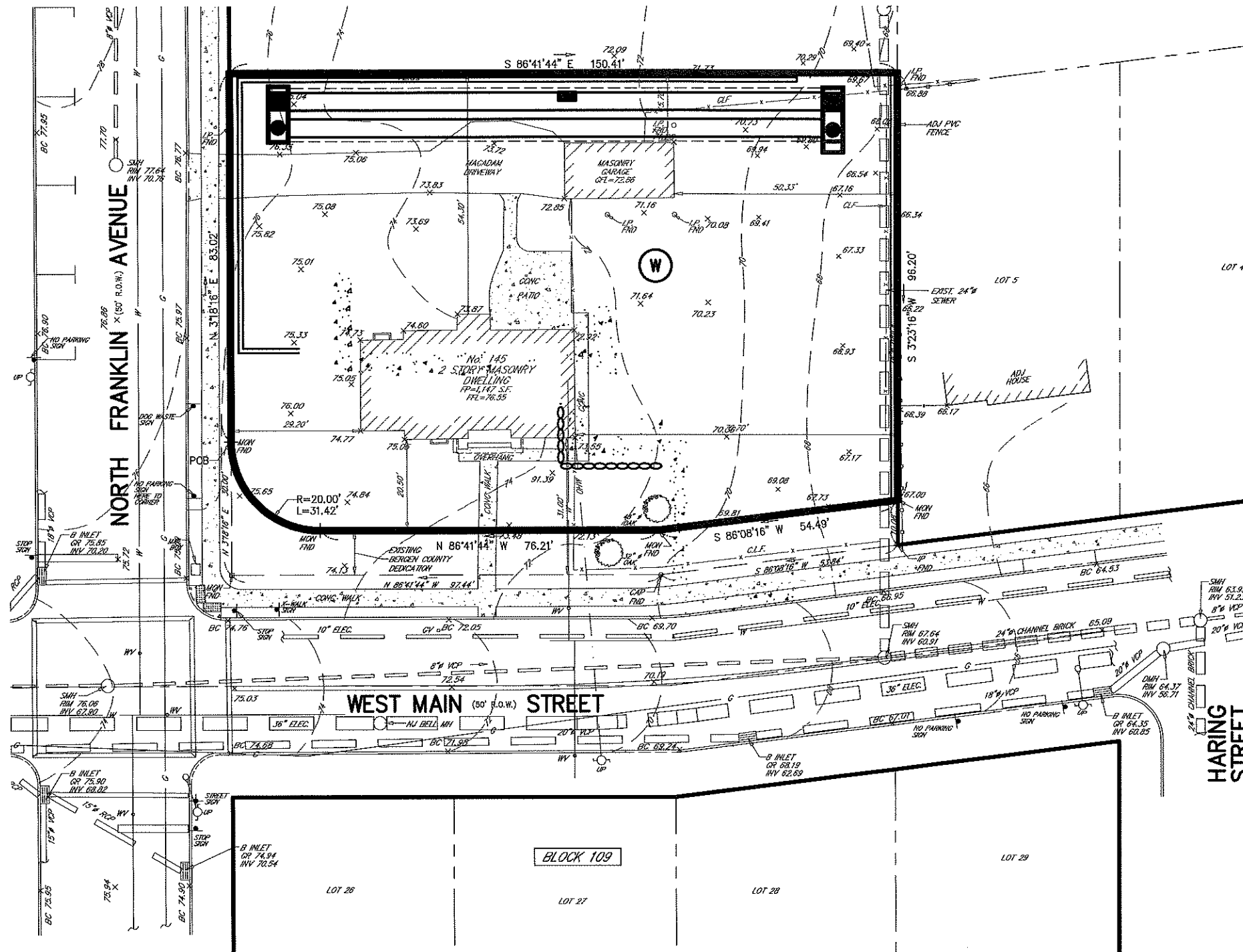
"A WRITTEN 'WAIVER AND DIRECTION NOT TO SET CORNER MARKERS' HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14(C45:B-36.3) AND N.J.A.C. 13:40-5.1(d). THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITION FOUND AT, AND AS OF DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD FACILITIES, WETLANDS OR ENVIRONMENTAL RESTRICTIONS OTHER THAN

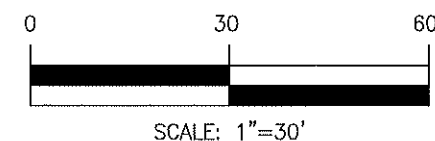
"SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP WAS PREPARED FOR A SPECIFIC TRANSACTION INVOLVING ONLY THE PARTIES "CERTIFIED TO" ON THIS MAP.

ONLY COPIES OF THIS MAP BEARING THE EMBOSSED SEAL OF ROBERT J. MUELLER ARE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

REV.	DWN. MZ	9-19-19	JOB No.
	CHK'D. RJM	SCALE: 1"=20'	3821



EXISTING DRAINAGE AREAS			
Drainage Area	Impervious Area (sf.)	Pervious Area (sf.)	Total Area (sf.)
W	2,976	12,239	15,215
Total	2,976	12,239	15,215



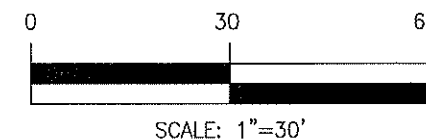
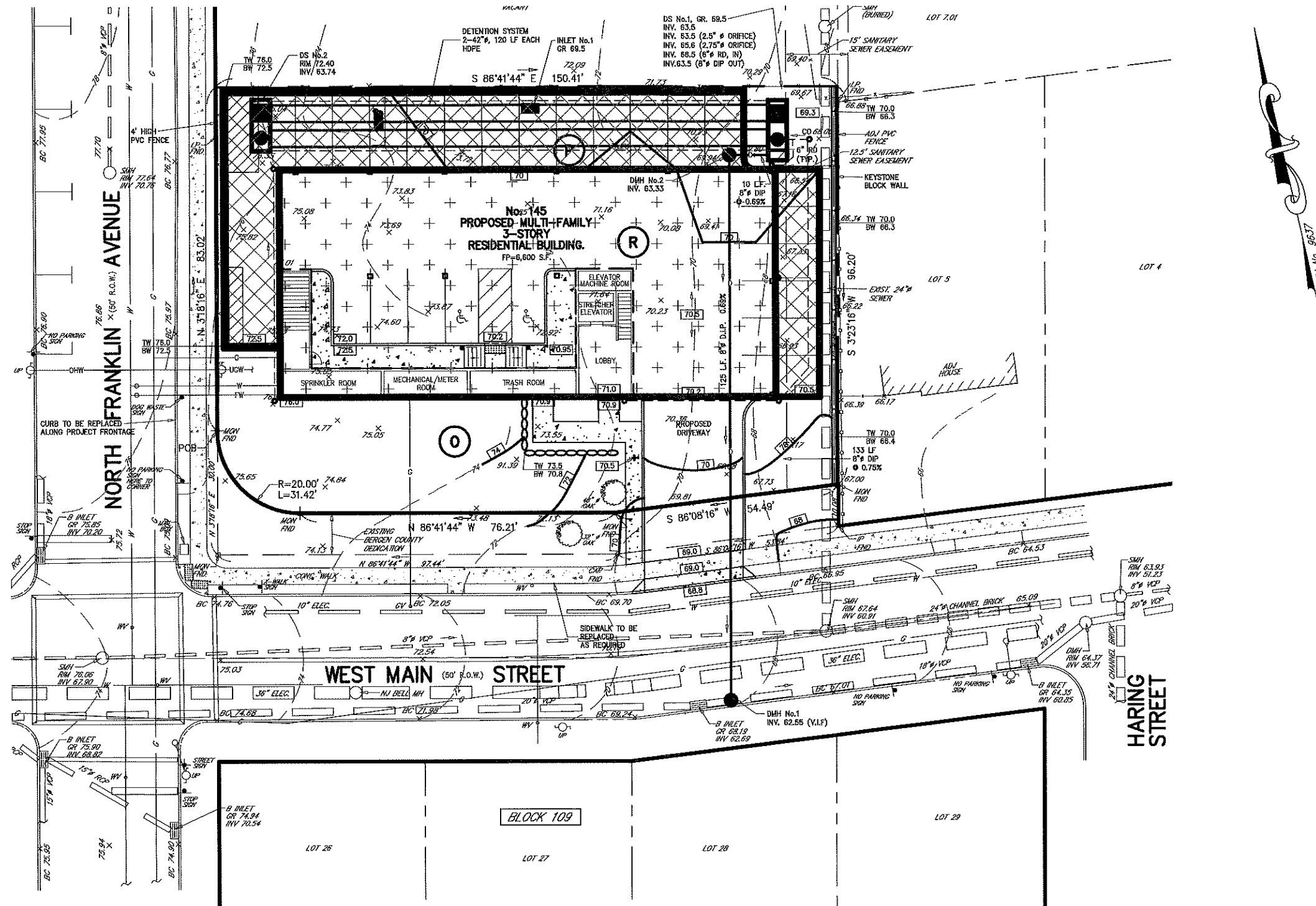
MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1-8-20
DATE

REVISIONS			
NO.	REVISIONS	DATE	BY
DRAINAGE AREA MAP - EXISTING			
LOTS 6.01, 6.02 & 6.03			
PROPOSED RESIDENTIAL BUILDING			
No. 145 WEST MAIN STREET			
BOROUGH OF BERGENFIELD BERGEN COUNTY			
APPLICANT: 145 WEST MAIN STREET, LLC			
C/O MATTHEW CAPIZZI, ESQ.			
11 HILLSIDE AVENUE, 2ND FL.			
TENAFLY, NJ 07670			

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-384-5666

DRAWN BY: N.M.
CHKD BY: MJH
SCALE: AS SHOWN
DRAWING NO.
3821-6
1 OF 2



NO.	REVISIONS	DATE	BY
1	MODIFIED BUILDING & SITE LAYOUT	4-16-20	N.M.

DRAINAGE AREA MAP – PROPOSED

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD BERGEN COUNTY NEW
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPIZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 TENAFLY, NJ 07670

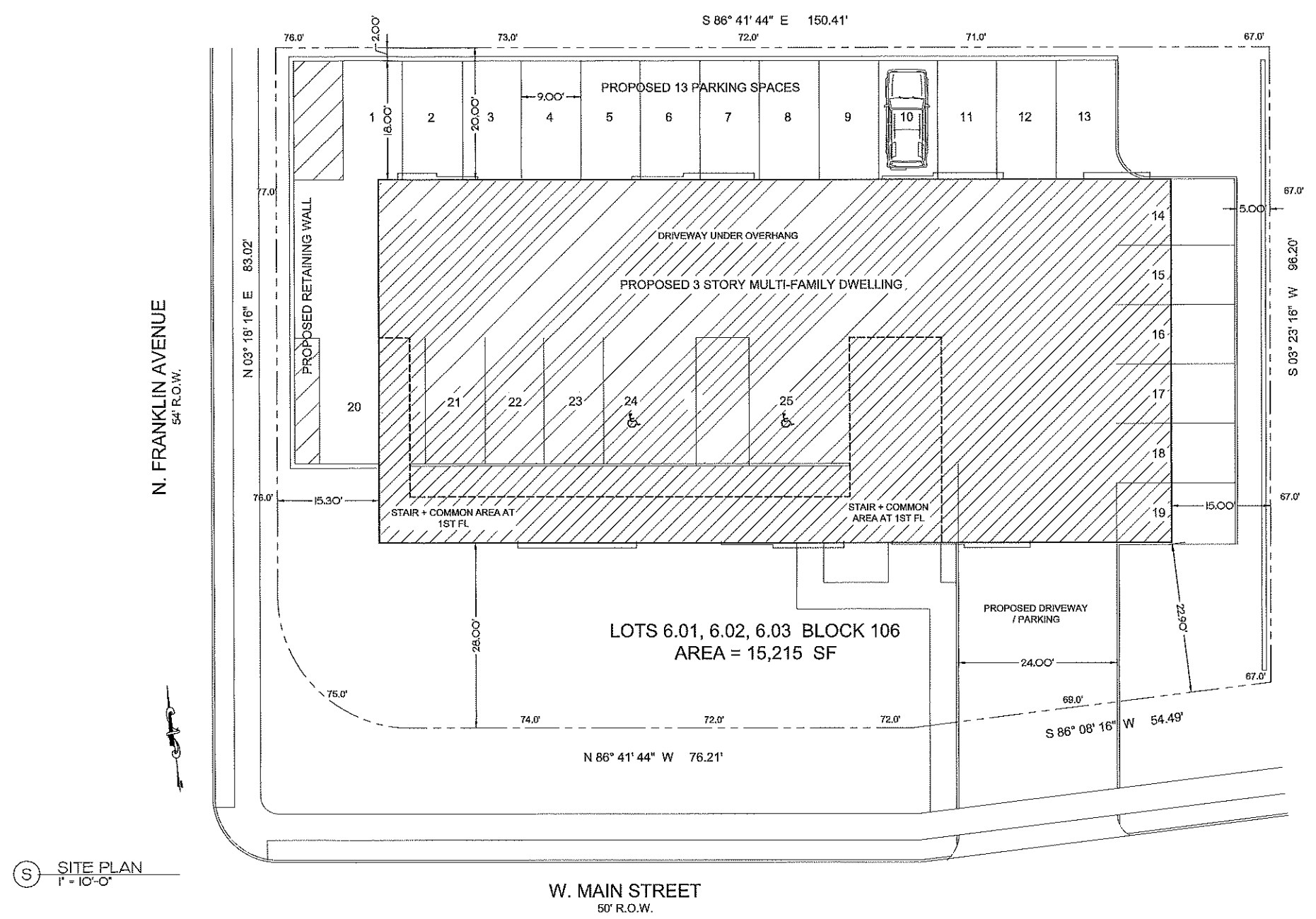
MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.
 ENGINEERS – PLANNERS – SURVEYORS
 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
 201-384-5666

DRAWN BY: N.M.
 CHKD BY: MJH
 SCALE: AS SHOWN
 DRAWING NO.
3821-7
 2 OF 2

1-8-20
 DATE





Ⓢ SITE PLAN
1" = 10'-0"

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE PROPERTY OWNER: HUBSCHMAN ENGINEERING, ENGINEERS, LAND SURVEYORS, + PLANNERS, BERGENFIELD, NJ - ROBERT J. MUELLER P.L.S., LIC NO 37206 - DATED X/XX/XXXX

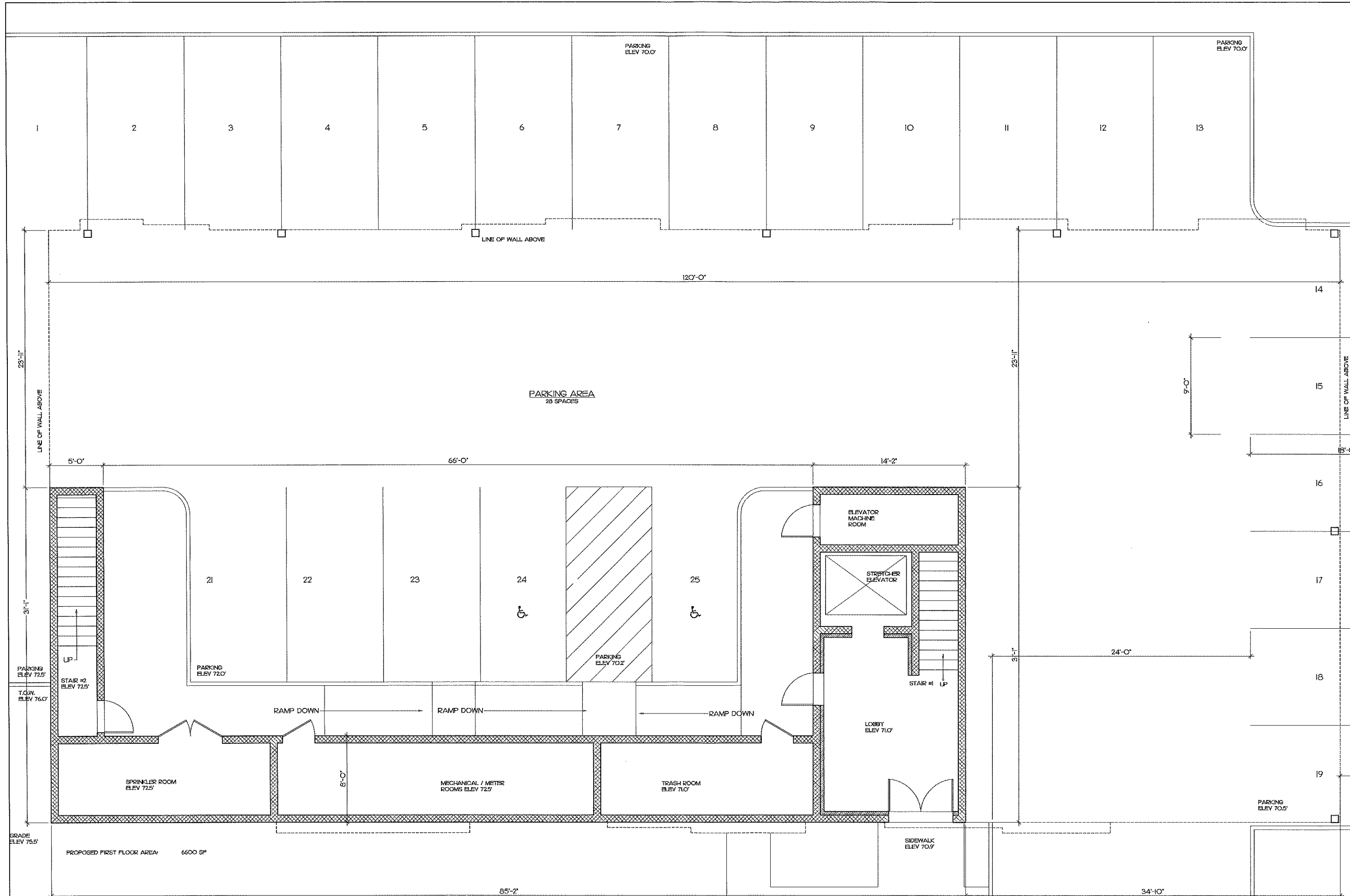
BUILDING DATA:		
PARKING LEVEL:	0- 1 BEDROOM UNITS	0- 2 BEDROOM UNITS
1ST FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS
2ND FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS

PARKING DATA:	
1 BEDROOM UNIT:	12 X 18 - 21.6 SPACES
2 BEDROOM UNIT:	4 X 20 - 8 SPACES

TOTAL 30 SPACES REQUIRED, 25 SPACES PROVIDED

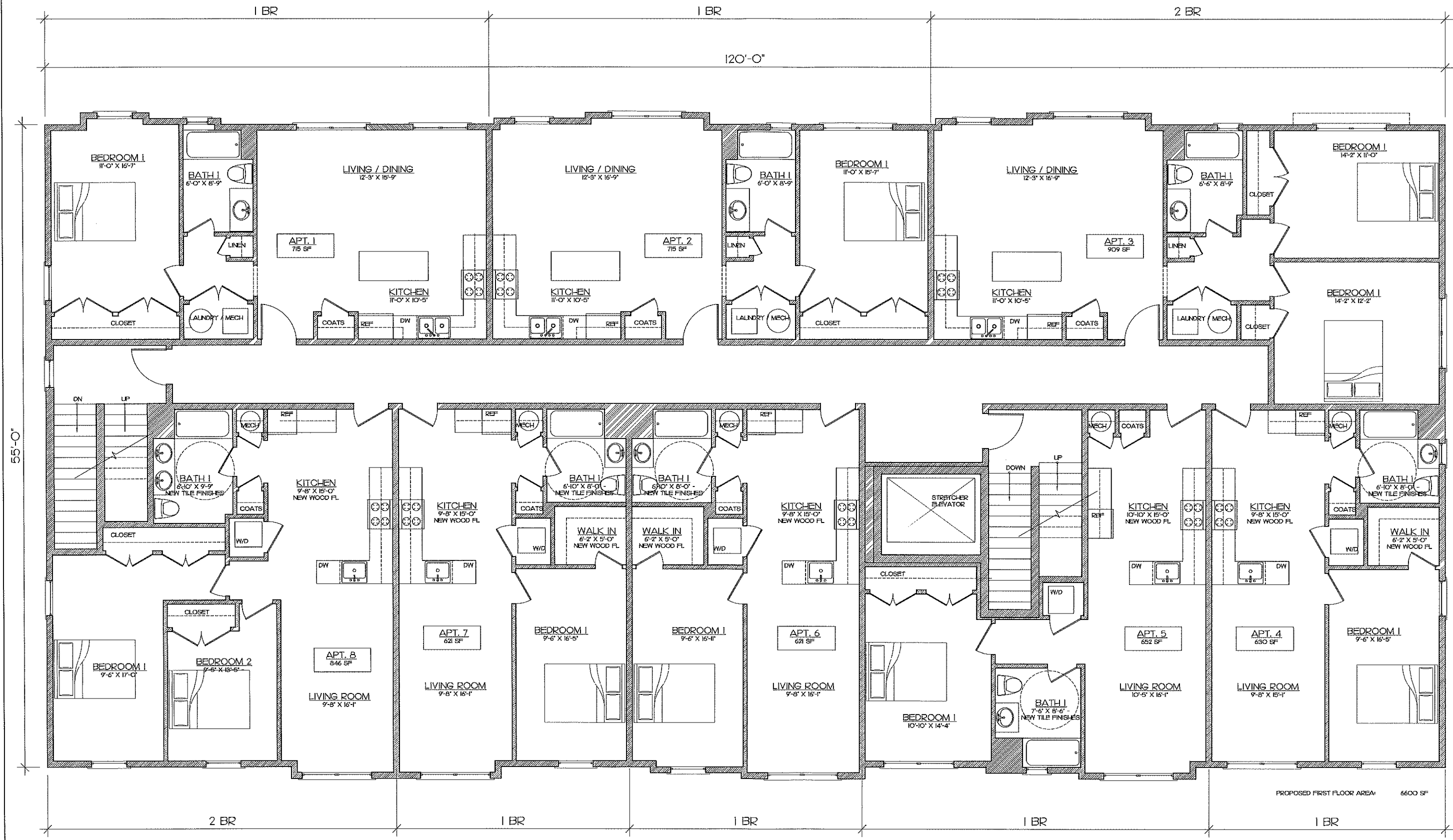
ELECTRICAL LEGEND	
⊙	• SURFACE MOUNT LIGHT FIXTURE
⊕	• 6" DIA. (ROUND) RECESSED FIXTURE
⚡	• WALL MOUNTED LIGHT FIXTURE
⚡	• NEW OR EXIST SMOKE ALARM, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP
⚡	• NEW OR EXIST CARBON MONOXIDE DETECTOR, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP
⊙	• SURFACE MOUNT FAN / LIGHT FIXTURE
⚡	• SINGLE POST ELECTRICAL SWITCH
⚡	• THREE WAY SWITCH
⚡	• DUPLEX RECEPTACLE OUTLET
⚡	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
⚡	• WATER PROOF RECEPTACLE OUTLET
⚡	• NEW OR EXIST EXHAUST FAN, 80 CFM • 3 FIXTURES, 110CFM • 4 FIXTURES
⚡	• NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
⚡	• NEW TELEPHONE OUTLET - VERIFY TYPE + LOCATION WITH OWNER

LEGEND	
---	EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
---	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
---	NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16" OC (ROUND)
---	EXISTING CONCRETE CONSTRUCTION TO REMAIN
---	EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
---	NEW POURED OR MASONRY CONC CONSTRUCTION
---	FLOOR ABOVE OR BELOW
---	NEW JOISTS, RAFTERS, ETC.
---	NEW GIRDERS, RIDGEBEAMS, ETC.

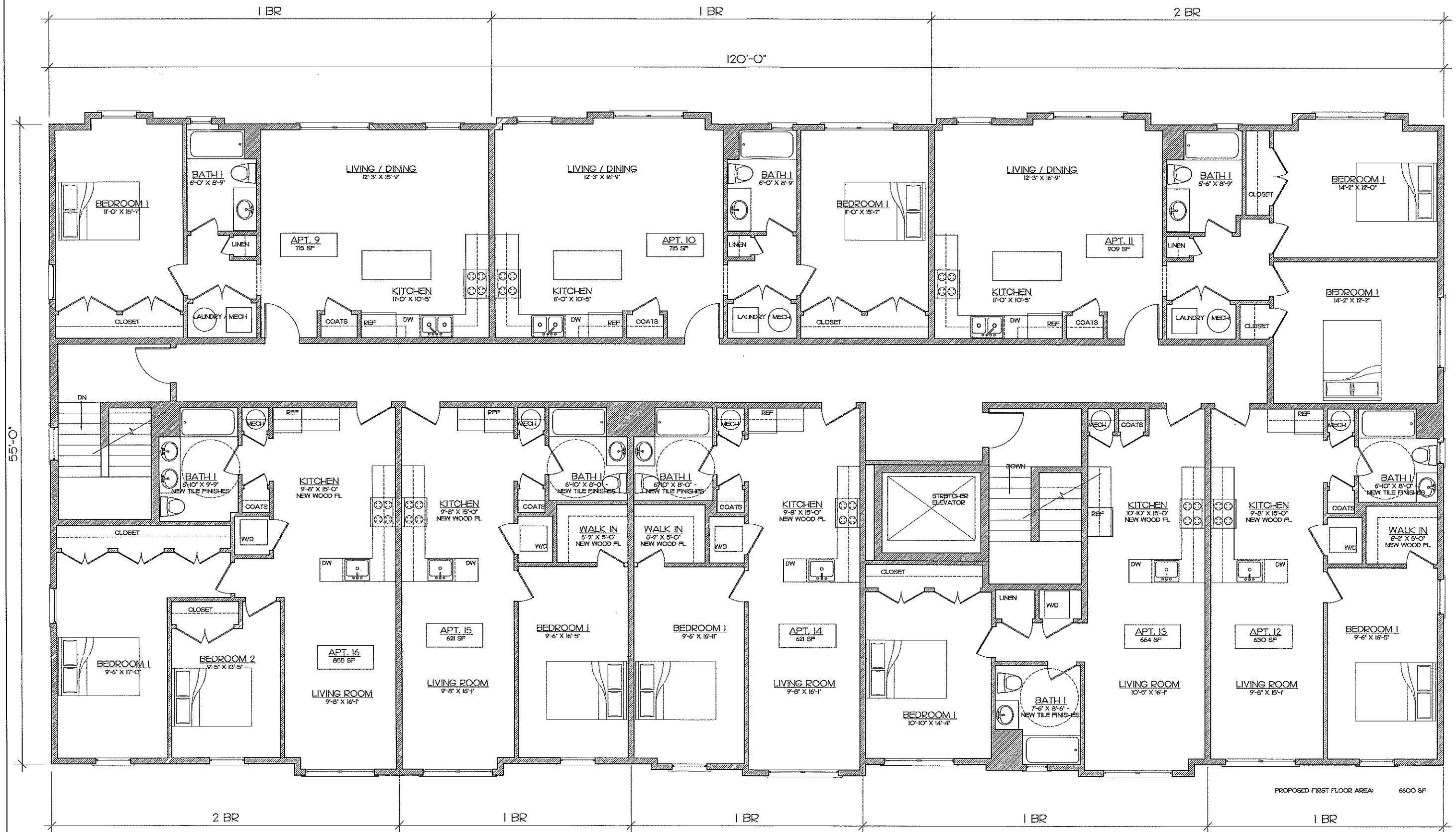


(B) PROPOSED BASEMENT / PARKING LEVEL PLAN
1/4" = 1'-0"

#	Date	Revision
New Construction for:		
Multi Family B		
Block: 106 Lot: 6.01, 145 Main Street Bergenfield, New Jersey		
BASEMENT FLOOR PLAN		
Scale: 1/4" = 1'-0"		
Date: MAY 1, 2020		
Submission: ZONING AP		
Indemnification Clause: The owner shall release, hold harmless and defend the architect from all claims, damages, costs and expenses, including reasonable attorneys' fees, with respect to: any change in construction documents by anyone other than the architect; or changes in any aspect of the work, construction or build in accordance with the documents.		



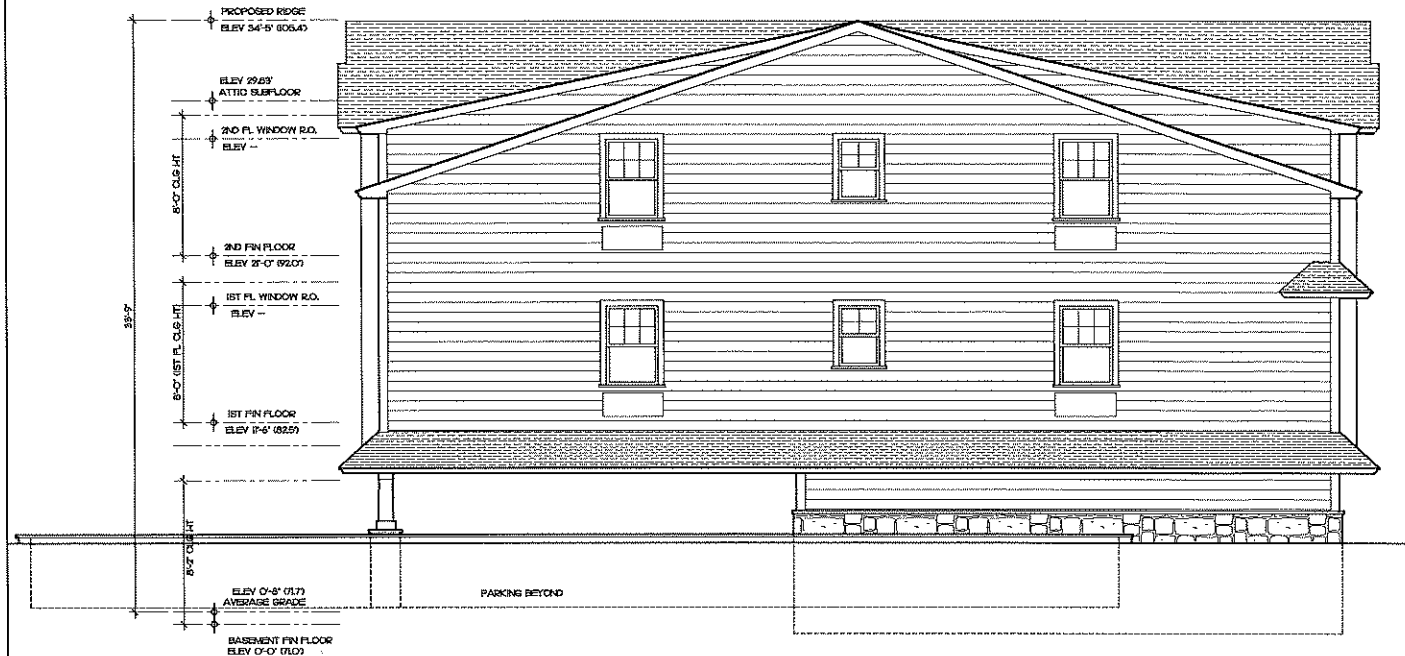
1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



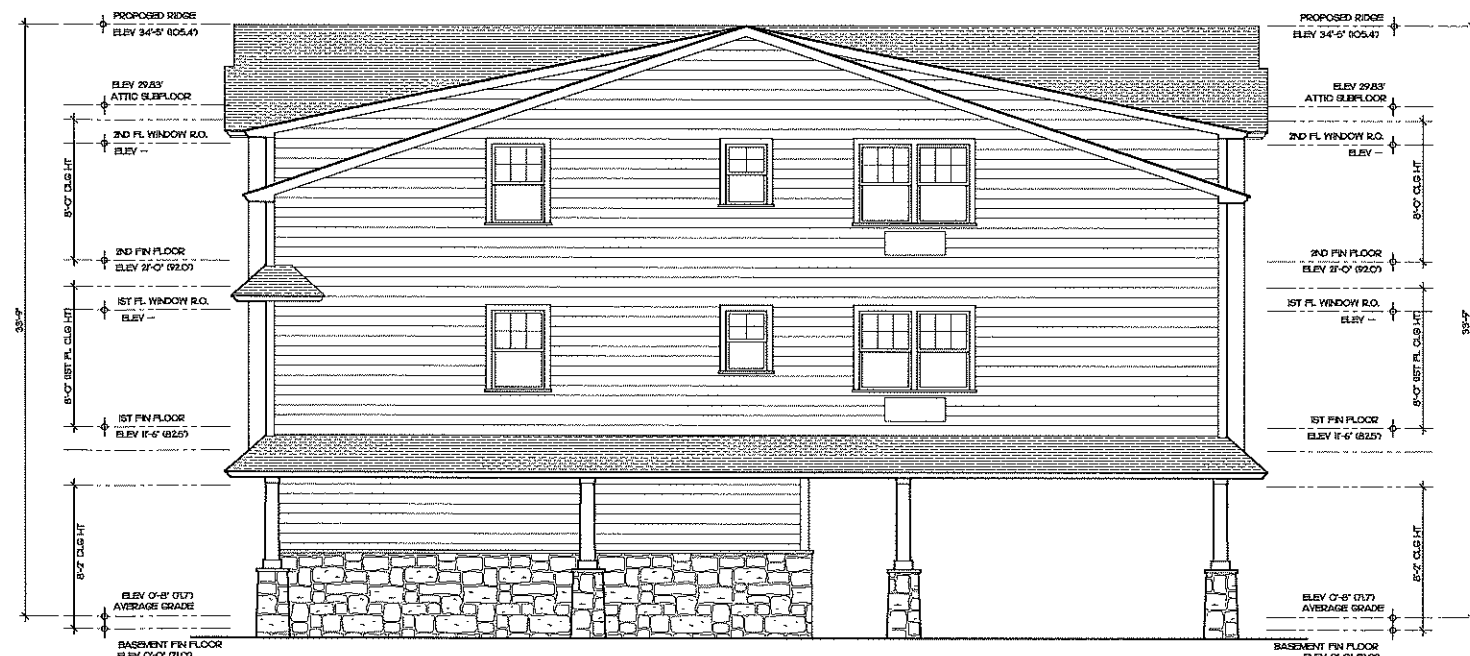
2 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



③ PROPOSED FRONT MAIN STREET ELEVATION
3/16" = 1'-0"



④ PROPOSED LEFT SIDE ELEVATION
3/16" = 1'-0"



⑥ PROPOSED RIGHT SIDE ELEVATION
3/16" = 1'-0"

#	Date	Revision
---	------	----------

New Construction for:

Multi Family Bu
Block: 106 Lot: 6.01, 6.1
145 Main Street
Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 1, 2020

Submission: ZONING APP

Indemnification Clause:
The owner shall release, hold harmless,
Architect with respect to: any changes i
construction documents by anyone othe
or changes in any aspect of the work, o
Contractor to build in accordance with
documents.



5 PROPOSED REAR ELEVATION
3/16" = 1'-0"

#	Date	Revision
1		New Construction for:
Multi Family Bn		
Block: 106 Lot: 6.01, 6		
145 Main Street		
Bergenfield, New Jersey		
ELEVATIONS		
Scale: 3/16" = 1'-0"		
Date: MAY 1, 2020		
Submission: ZONING AP		
Indemnification Clause: The owner shall release, hold harmless, defend and indemnify the Architect with respect to any change in construction documents by anyone other than the Architect or changes in any aspect of the work, Contractor to build in accordance with the documents.		

GENERAL NOTES

- 1) TOTAL LOT AREA = 15,215 S.F. (0.349 AC.)
- 2) ELEVATIONS BASED ON NOV. 1929.
- 3) LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- 4) CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 5) ALL DAMAGED CURB AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- 6) STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- 7) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- 8) EXISTING IMPERVIOUS AREA = 7,976 S.F.
PROPOSED IMPERVIOUS AREA = 10,096 S.F.
TOTAL INCREASE = 2,120 S.F.
- 9) CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
- 10) APPLICANT AND/OR CONTRACTOR SHALL CONTACT MR. ED RAEVITHE, DEPARTMENT OF PUBLIC WORKS SUPERVISOR, AT (201) 336-6815 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- 11) ANY PROPOSED PLANTINGS ALONG THE PROPERTY FRONTAGE WITHIN THE SIGHT TRIANGLE AREA SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG RIVERBOCKLE ROAD.
- 12) ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING SERIES 4000 TYPE "X" DESIGNATION PER ASTM.
- 13) ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- 14) ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEWER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND AMENDMENTS BY THE N.J.DOT AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUIDE RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & CULVERTS AND ROADWAY CONSTRUCTION. OMISSION AND/OR CORRECTIONS DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- 15) COUNTY SIGHT DISTANCE CRITERIA - THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHOULD BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCES REFLECT MAXIMUM CLEAR SIGHT DISTANCE.
- 16) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- 17) ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- 18) RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- 19) THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-43.) A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- 20) ALL EXISTING OR PROPOSED SIDEWALKS, CURBS AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE DESIGN/CONSTRUCTION OF THE HANDICAP RAMP AND THE TYPE OF TRUNCATED DOME SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE. PURSUANT TO TITLE 27:18-6, THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURBLINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- 21) ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPEDE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- 22) CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S "DESIGN AND CONSTRUCTION PLAN STANDARDS."
- 23) ALL PAVEMENT MARKINGS/STRIPIING WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- 24) ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMPELL FOUNDRY PATTERN #2817), AND "N-ECO" CURB PIECES (CAMPELL FOUNDRY PATTERN #2818). ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUTE 40A:11-18.
- 25) ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- 26) APPLICANT SHALL PROVIDE THE COUNTY WITH REVISED DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.
- 27) REFUSE REMOVAL TO BE PRIVATE HAULER.

I CONSENT TO THE FILING OF THIS SITE PLAN.

OWNER DATE
APPLICANT DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING
LOT 6.01, 6.02 & 6.03 BLOCK 106 ZONE R-5
DATE: SCALE: 1"=20'
APPLICANT: 145 WEST MAIN STREET, LLC
ADDRESS: C/O MATTHEW CAPEZZA, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TEANECK, NJ 07670

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

Michael J. Hubschman, P.E.
N.J.P.E. No. 29497
TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

By: Chairman DATE
Secretary DATE

APPROVED BY THE COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

BOROUGH ENGINEER DATE
CONSTRUCTION OFFICIAL DATE

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

CONSTRUCTION OFFICIAL
BOROUGH ENGINEER

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

BOROUGH ENGINEER

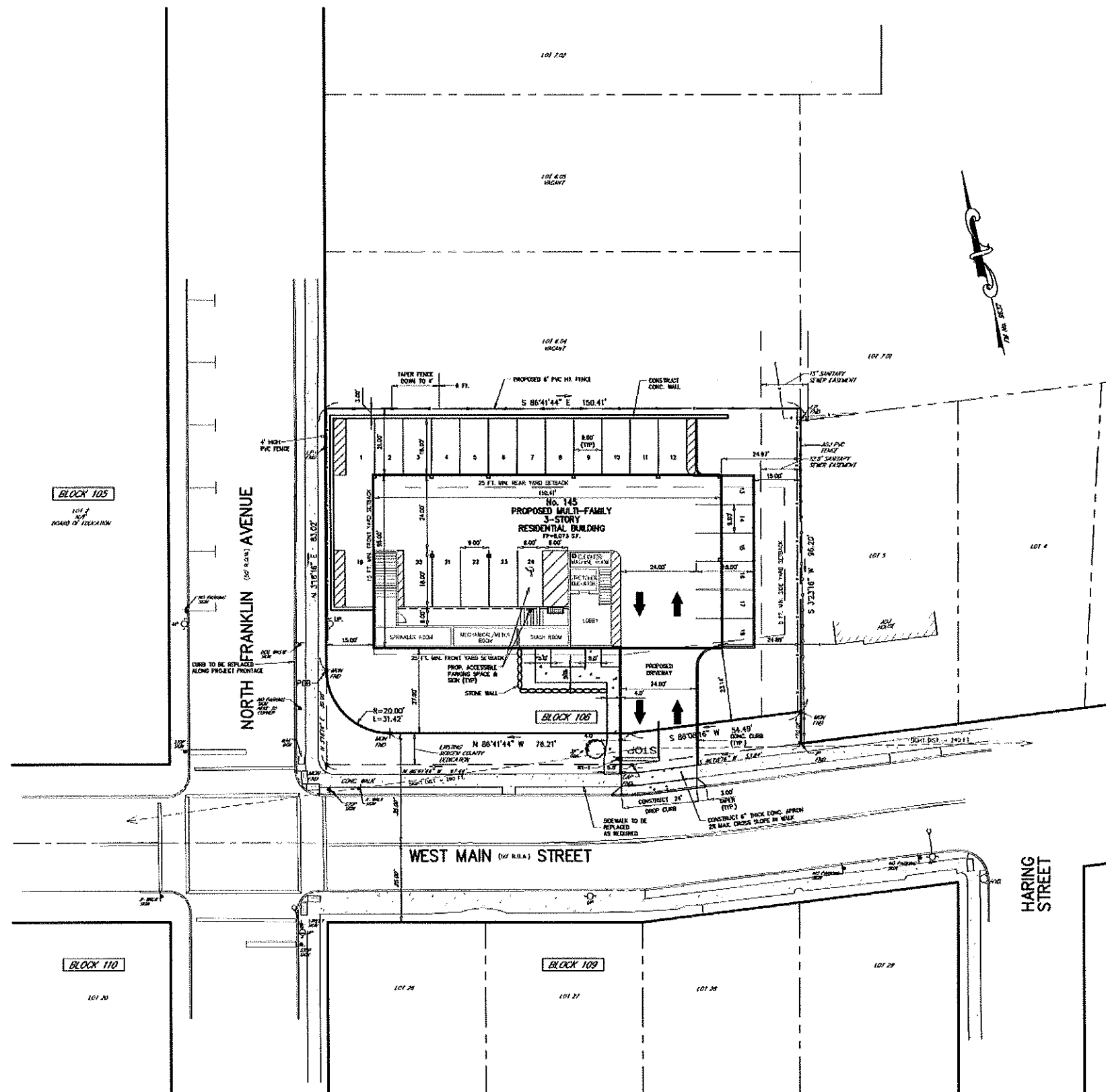
CONSTRUCTION OFFICIAL

OCCUPANCY PERMIT ISSUED

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

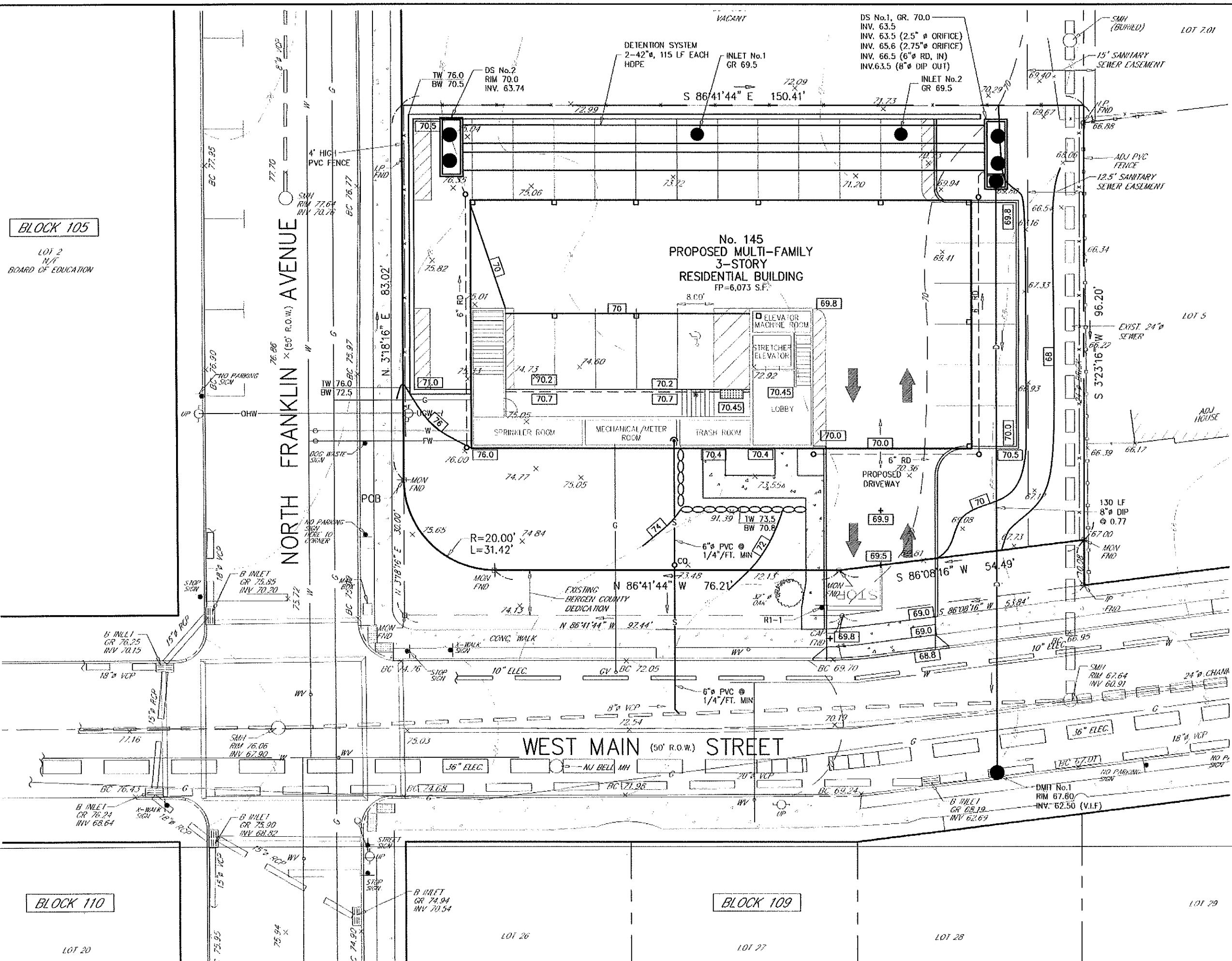
TAX COLLECTOR DATE

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.

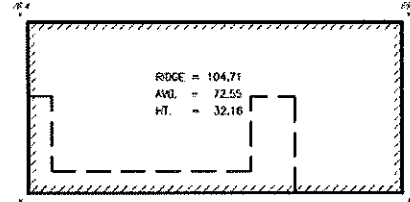


BLOCK 105

LOT 2
N/A
BOARD OF EDUCATION



SANITARY FLOW CALCS
(1) - 1 BEDROOM UNIT x 150 GPD = 1,500 GPD
(2) - 2 BEDROOM UNIT x 225 GPD = 450 GPD
PROPOSED SANITARY FLOW = 2,250 GPD



BUILDING HEIGHT
(EX. GR. 64" OFF CORNER)

BLOCK 110

BLOCK 109

2	REDUCED TO 14 UNITS	12-22-20	H.M.
1	MODIFIED BUILDING & SITE LAYOUT	3-1-20	H.M.
NO.	REVISIONS	DATE	BY
GRADING, DRAINAGE & UTILITY PLAN			
LOTS 6.01, 6.02 & 6.03			
PROPOSED RESIDENTIAL BUILDING			
No. 145 WEST MAIN STREET			
BOROUGH OF BERGENFIELD BERGEN COUNTY			
APPLICANT: 145 WEST MAIN STREET, LLC			
C/O MATTHEW CAPUTO, ESQ.			
11 HILLSIDE AVENUE, 2ND FL.			
TOWNSHIP, NJ 07670			

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

DRAWN BY: BL
CHECKED BY: MJH
SCALE: 1" = 10'
DRAWING NO. 15000

HUBSCHMAN
ENGINEERING, P.A.

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

1. All soil erosion and sediment control practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and shall be installed in proper sequence and maintained until permanent stabilization is established.
2. Any disturbed area that will be left exposed for more than 90 days (90 days not subject to construction) shall be immediately seeded with a temporary seed and mulch. If the weather prohibits temporary seeding, the disturbed area shall be mulched with straw or a rate of 2 tons per acre covered by approved methods (i.e. hay, straw, mulch, etc.) or liquid mulch (bark).
3. Immediately following initial stabilization of rough grading, all critical areas shall be seeded with a temporary seed in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
4. Stabilization Specifications:
 - A. Temporary Seeding and Mulching:
 - Ground Cover: Apply uniformly according to seed and mulch recommendations.
 - Seeding: Apply 100 lbs./A of 10-20-10 or equivalent with 100% water soluble nitrogen (from a soil test indication otherwise) applied into the soil at a minimum of 1".
 - Mulch: Spread evenly over seed at a rate of 2 to 3 tons/A (2.5 to 3.5 tons/A) or other approved seed and mulch combination. Mulch shall be applied in a manner to achieve 95% soil surface coverage. Mulch shall be maintained by approved methods (i.e. hay and straw, mulch, etc.) or liquid mulch (bark).
 - B. Permanent Seeding and Mulching:
 - Seed: A uniform application at an average depth of 1/2" minimum at 4" maximum in place to required ground cover. Apply uniformly according to seed and mulch recommendations.
 - Seeding: Apply 100 lbs./A of 10-20-10 or equivalent with 100% water soluble nitrogen (from a soil test indication otherwise) applied into the soil at a minimum of 1".
 - Mulch: Spread evenly over seed at a rate of 2 to 3 tons/A (2.5 to 3.5 tons/A) or other approved seed and mulch combination. Mulch shall be applied in a manner to achieve 95% soil surface coverage. Mulch shall be maintained by approved methods (i.e. hay and straw, mulch, etc.) or liquid mulch (bark).

5. The site shall be of all times be graded and maintained such that all stormwater runoff is directed to soil erosion and sediment control facilities.
6. Soil erosion and sediment control measures shall be installed and maintained in a regular basis, including after every storm event.
7. Structures are not to be located within 50' of a ditch, slope, roadway or drainage facility. The base of all structures shall be contained by a hinged sediment barrier or wall below.
8. A structure shall, where water storage is required, be constructed across road intersects any road crossing. Soil erosion and sediment control measures shall be installed at the intersection of 1" - 75' covered slope, 6" P.S.D. shall be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and reinforced.
9. Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
10. Driveways must be stabilized with 1" - 75' covered slope or a slope prior to installation of construction.
11. At all times, exposed, graded or finished surfaces shall be stabilized with a suitable synthetic sediment filter fabric and reinforced.
12. Catch basins shall be installed with an inlet filter designed in accordance with Section 28-1.1 of the NJ Standards.
13. Storm drainage outlets shall be installed, as required, before the drainage points become operational.
14. Driveway structures must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
15. Soil shall be stabilized by the application of water, erosion control or other approved method in accordance with Section 14-1 of the NJ Standards.
16. Trees to remain after construction are to be protected with a suitable fence installed at the site line or beyond in accordance with Section 5-1 of the NJ Standards.
17. The project owner shall be responsible for any erosion or sedimentation that may occur below structures, outside of or off-site as a result of construction of the project.
18. Any erosion to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation of the plan.
19. A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
20. The Bergen County Soil Conservation District must be notified by written notice at least 48 hours prior to any final disturbance. Bergen County 920, 700 River Street, Suite 100, Oradell, NJ 07648. Tel: 201-261-4000, Fax: 201-261-7933.
21. The Bergen County Soil Conservation District may request additional measures to stabilize on or off-site erosion problems during construction.
22. The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all reports of compliance inspections. At the time work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

1. INSTALL 25'x50' TRACKING BED AT CONSTRUCTION ENTRANCE.
2. INSTALL SOIL FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION.
3. ACCORDING TO PLAN.
4. INSTALL INLET FILTER PROTECTION WHERE APPLICABLE.
5. DEMOLISH EXISTING BUILDING.
6. REMOVE EXISTING AND DISPOSE.
7. PROVIDE ROUGH GRADING FOR SITE.
8. EROSION CONTROL BUILDING, DRIVEWAY, AND UTILITIES.
9. CONSTRUCT NEW BUILDING, PROVIDE PAVEMENT BASE COURSE ON DRIVEWAY.
10. PROVIDE FINAL GRADING, TOPSOIL REPLACEMENT, AND LANDSCAPING.
11. REINFORCE WITH TOPSOIL TO AN AVERAGE DEPTH OF 5" MINIMUM OF 4" MINIMUM IN PLACE.
12. PROVIDE FINAL PAVING.
13. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL AGENCY.

SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=20'

SYNTHETIC FILTER FABRIC
STONE FILL: A.S.T.M. C-33 NO. 2 OR 3
STONE SIZE: 1-2 1/2" DIA. GRADED STONE

WELL COMPACTED SUB-GRADE

STABILIZED CONSTRUCTION ACCESS

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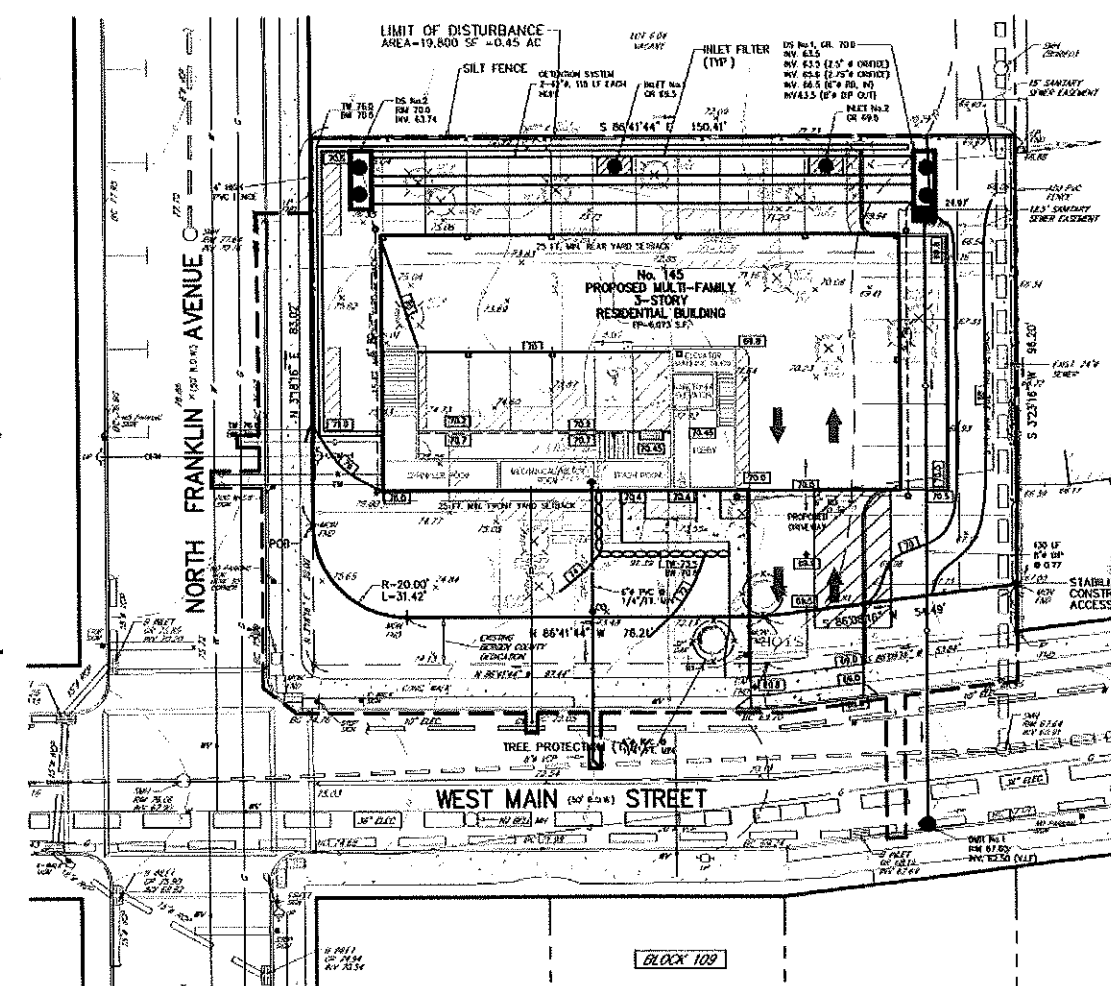
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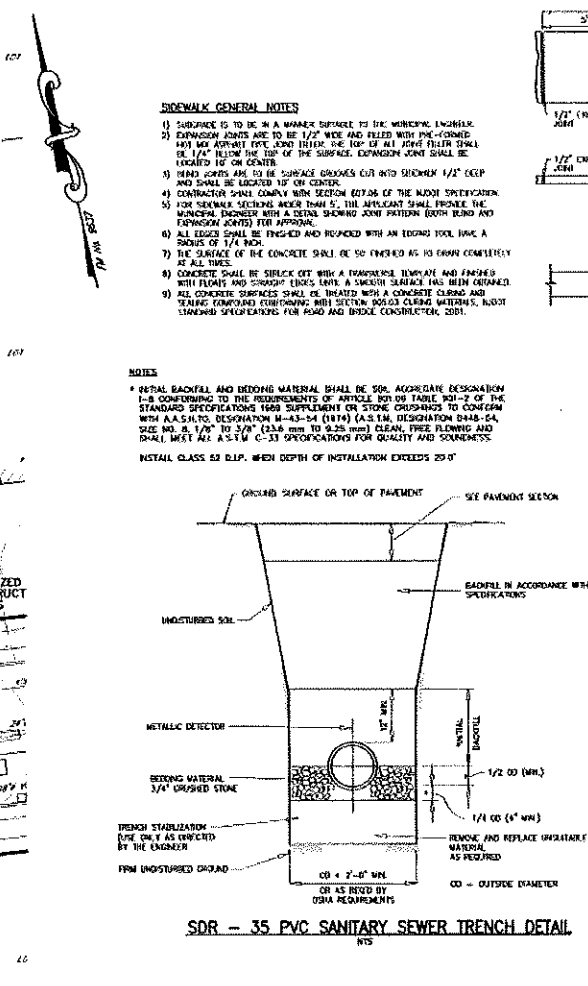
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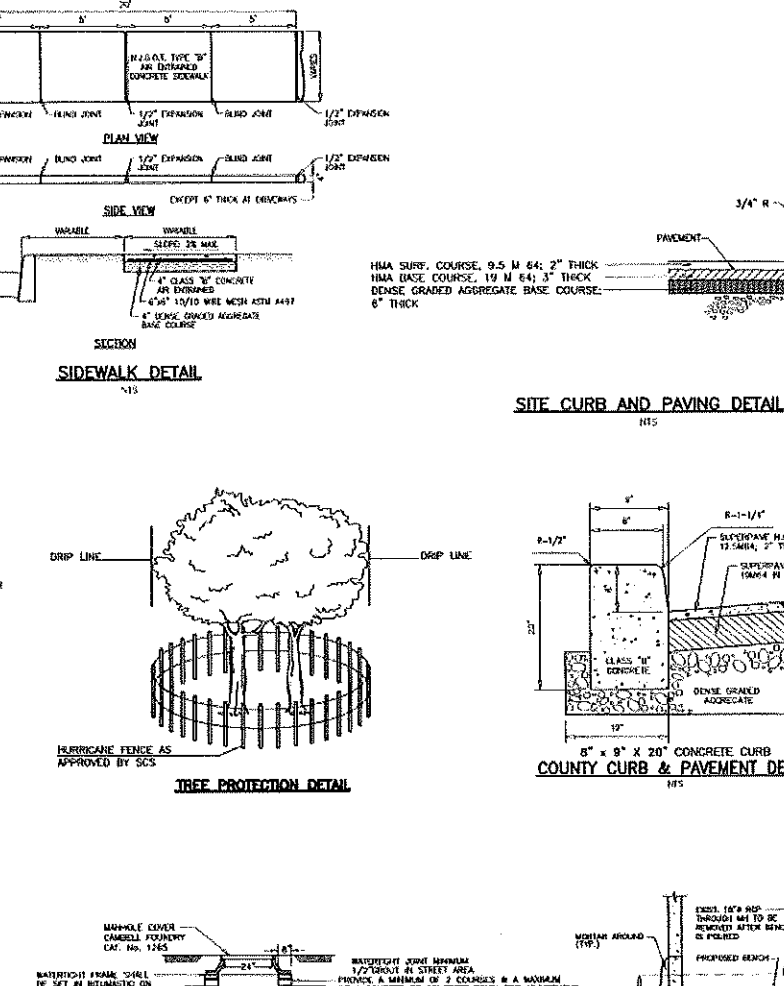
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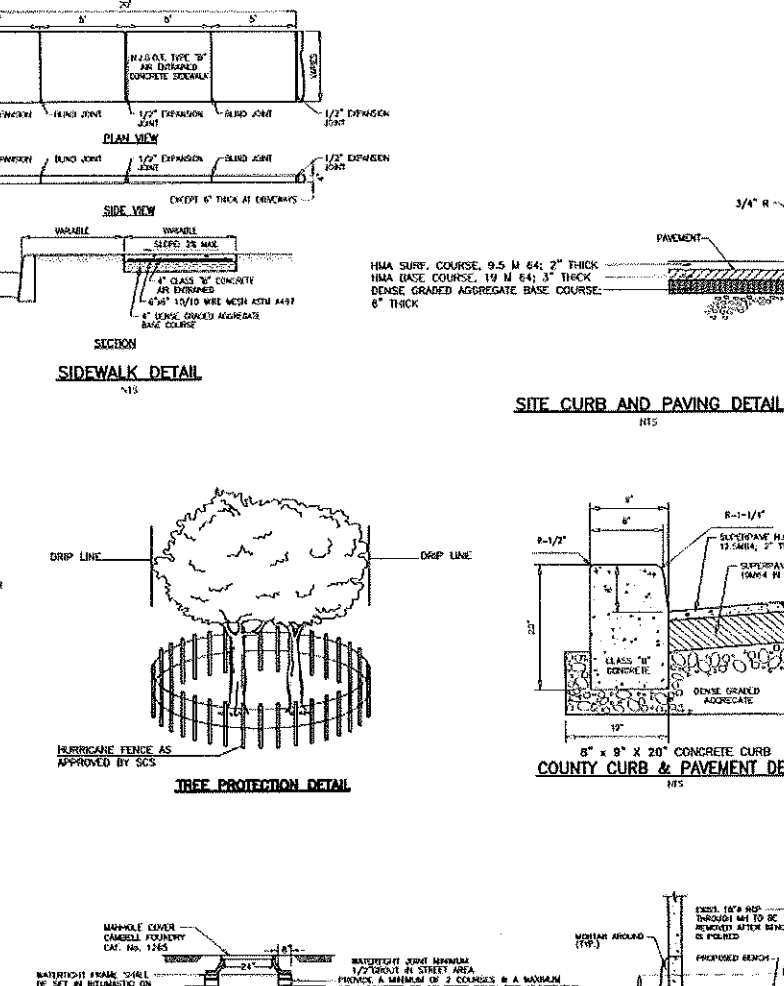
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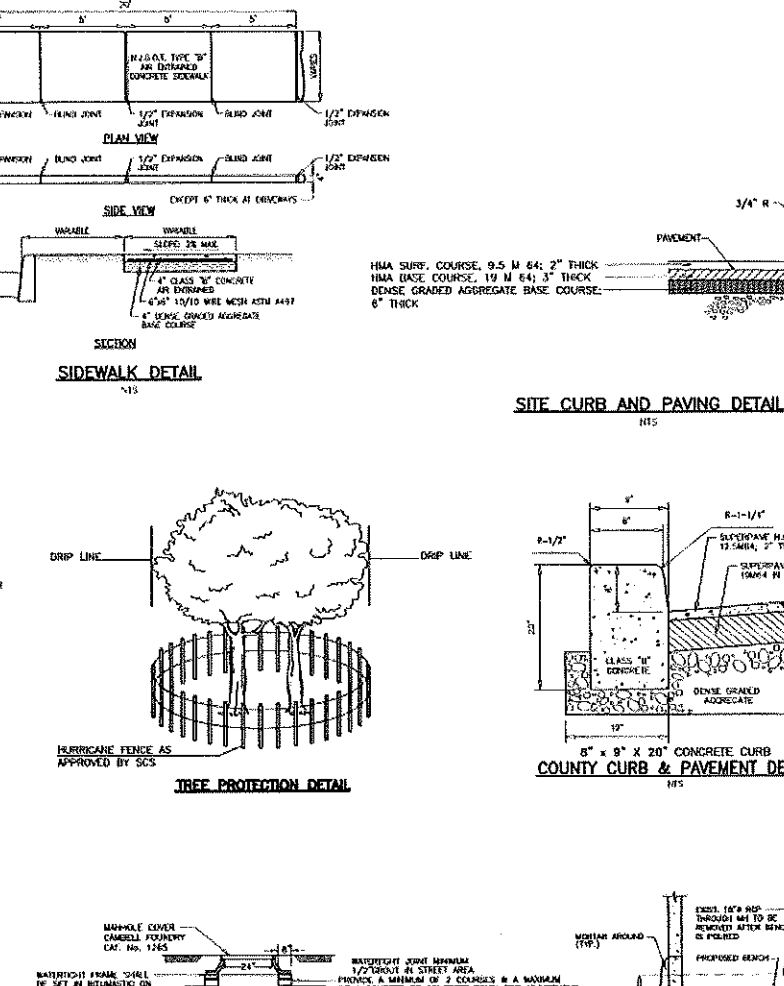
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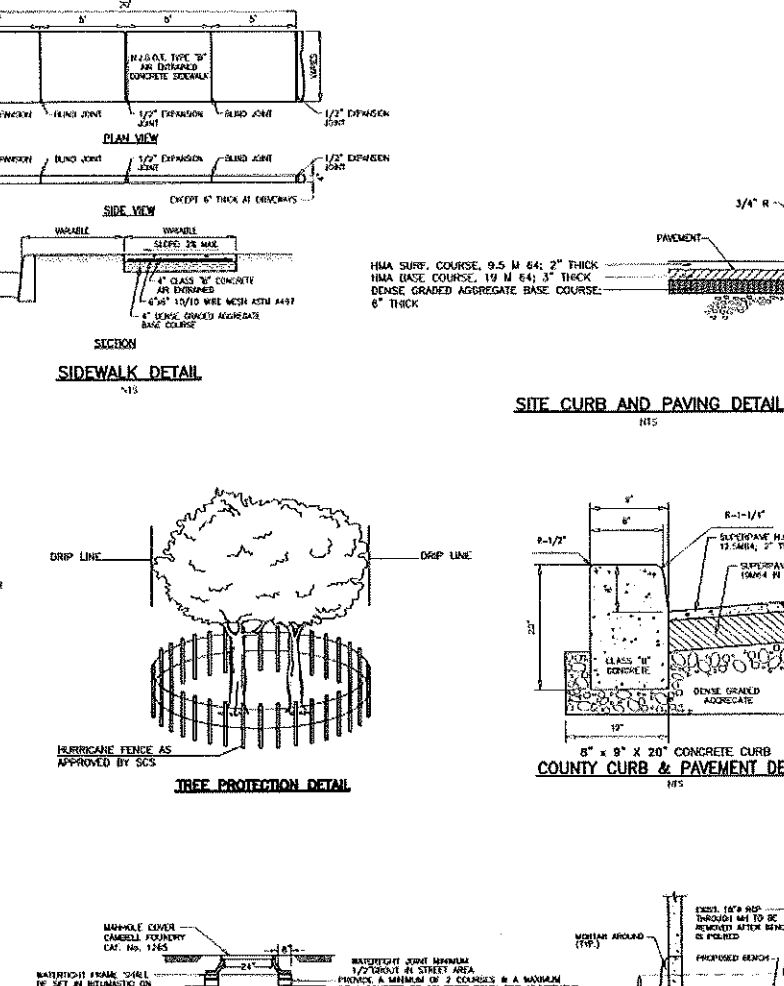
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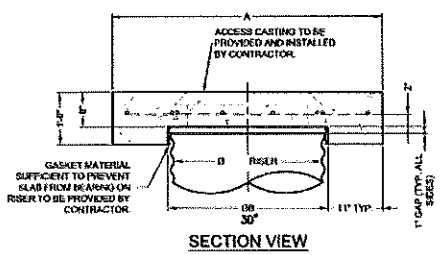
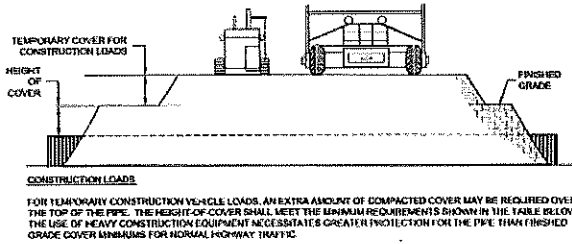
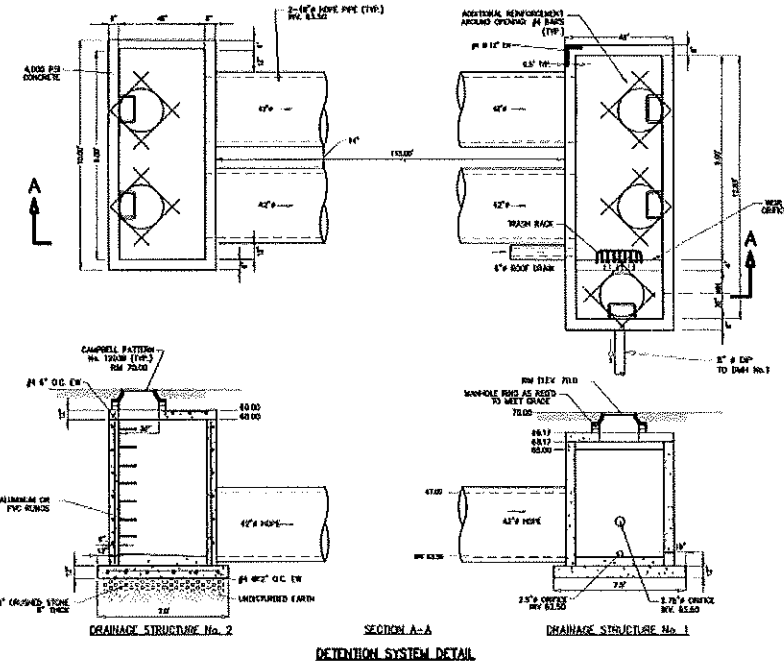
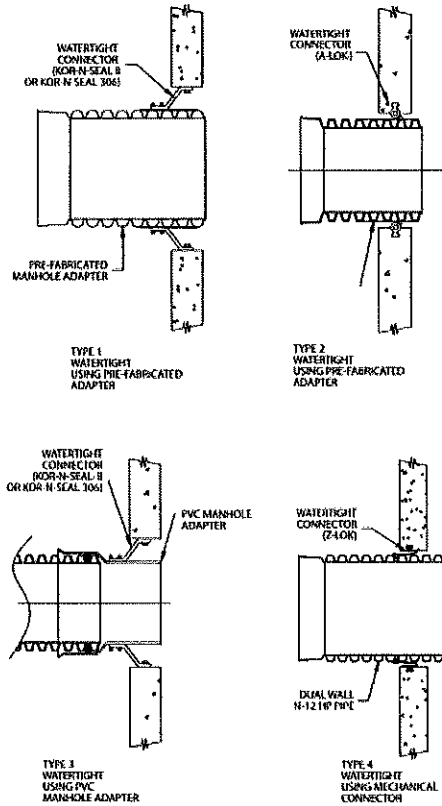
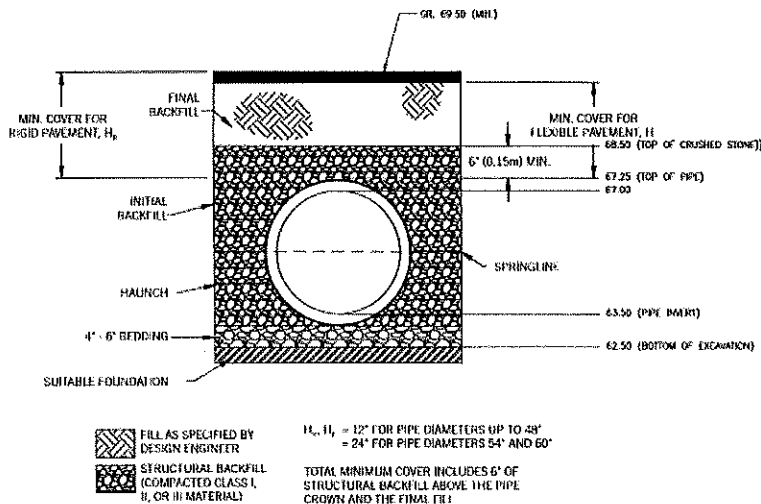
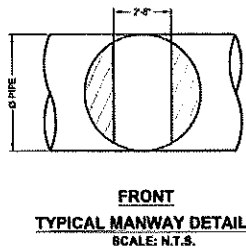
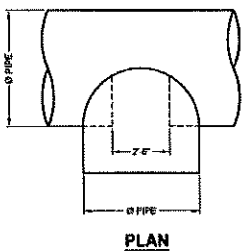
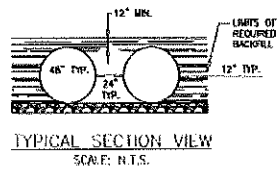
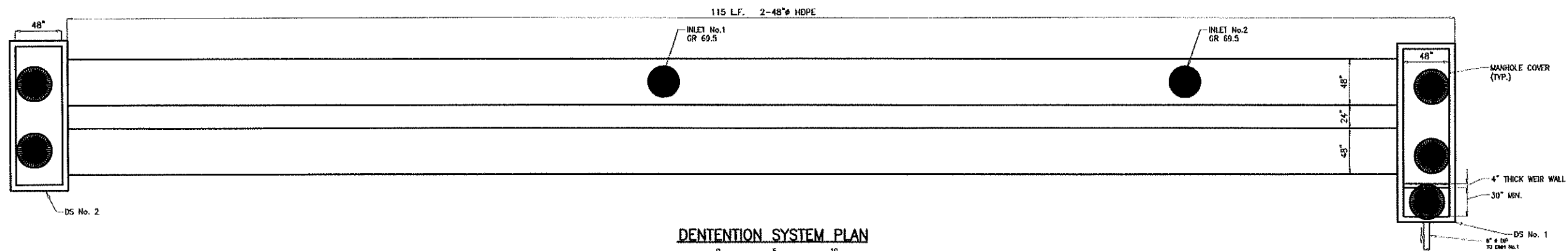
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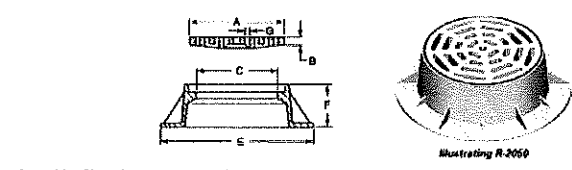
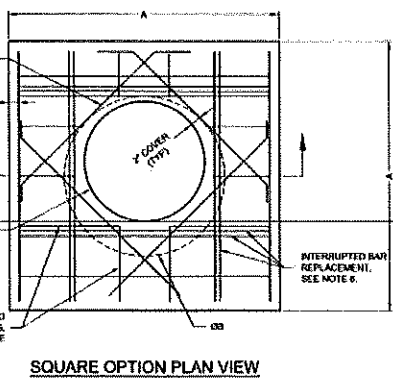
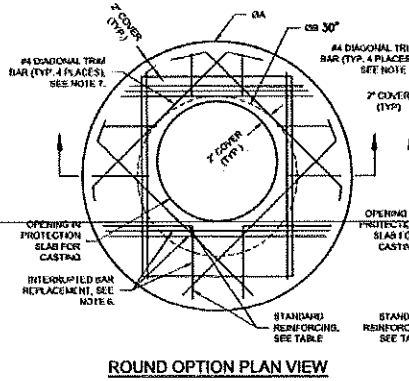


REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	"BEARING PRESSURE (PSF)
30"	Ø 4' 6"	32"	P5 Ø 12' OCEW P5 Ø 12' OCEW	2,130 1,530
48"	Ø 4' 6"	32"	P5 Ø 12' OCEW P5 Ø 12' OCEW	2,130 1,530
60"	Ø 4' 6"	32"	P5 Ø 12' OCEW P5 Ø 12' OCEW	2,130 1,530
72"	Ø 4' 6"	32"	P5 Ø 12' OCEW P5 Ø 12' OCEW	2,130 1,530
84"	Ø 4' 6"	32"	P5 Ø 12' OCEW P5 Ø 12' OCEW	2,130 1,530

HDPE PIPE CONNECTION TO MANHOLE DETAIL
X=1 TO SCALE

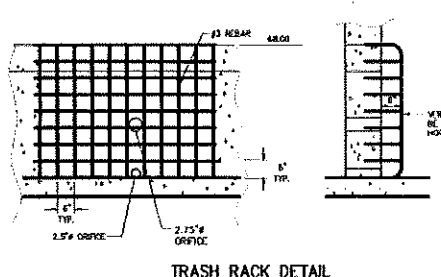
NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR DS No.1 AND DS No.2 TO ENGINEER FOR APPROVAL.

Temporary Cover Requirements for Light Construction Traffic			
Type of Vehicle	Vehicle Load at Surface psi (kPa)	Temporary Minimum Cover, In. (mm) for:	
		4" - 48" (100-1200mm) diameters	54" - 60" (1350 and 1500mm) diameters
Semi-tractor ¹	75 (517)	9 (230)	12 (300)
Loaded pick up truck ²	50 (345)	6 (150)	9 (230)
Skid steer loader ³	25 (172)	3 (80)	6 (150)



Sorted by Clear Opening, Dimension "C"									
Catalog Reference	A	B	C	E	F	G	Grate Type	Frame Reference	
R-2250	30	1 1/2	30	48	10	1 x 8	G	R-2580-C	
R-2580-C	30	1 1/2	30	48	10	1 x 8	G	R-1740-D	
R-2251	36	1 1/2	36	48	8 1/2	1	G	R-1752	
R-2597-A	31 7/8	1 1/2	30 8/32	48	6 1/2	1	G	R-1617-A	
R-2597-B	30 9/8	2	30	35 1/2	8	1 1/2	G	R-2022-B	
R-2598-D	30	1	30	34	7	7/8	G	R-1798-D	
R-2255	30	1 3/8	30	48	10		G	R-1648-C	
R-1775	30	1 3/8	30	48	5 1/8	1 x 8 1/4	G	R-1645-C18	
R-1776	31 7/8	1 3/8	30	48	5 1/8	5/2	G	R-1750-C15	
R-1778	30	1 1/2	30	48	7		G	R-1750-A	
R-2598-G	27	1 1/2	30	48	7		Beehive	R-1778-B	

NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.

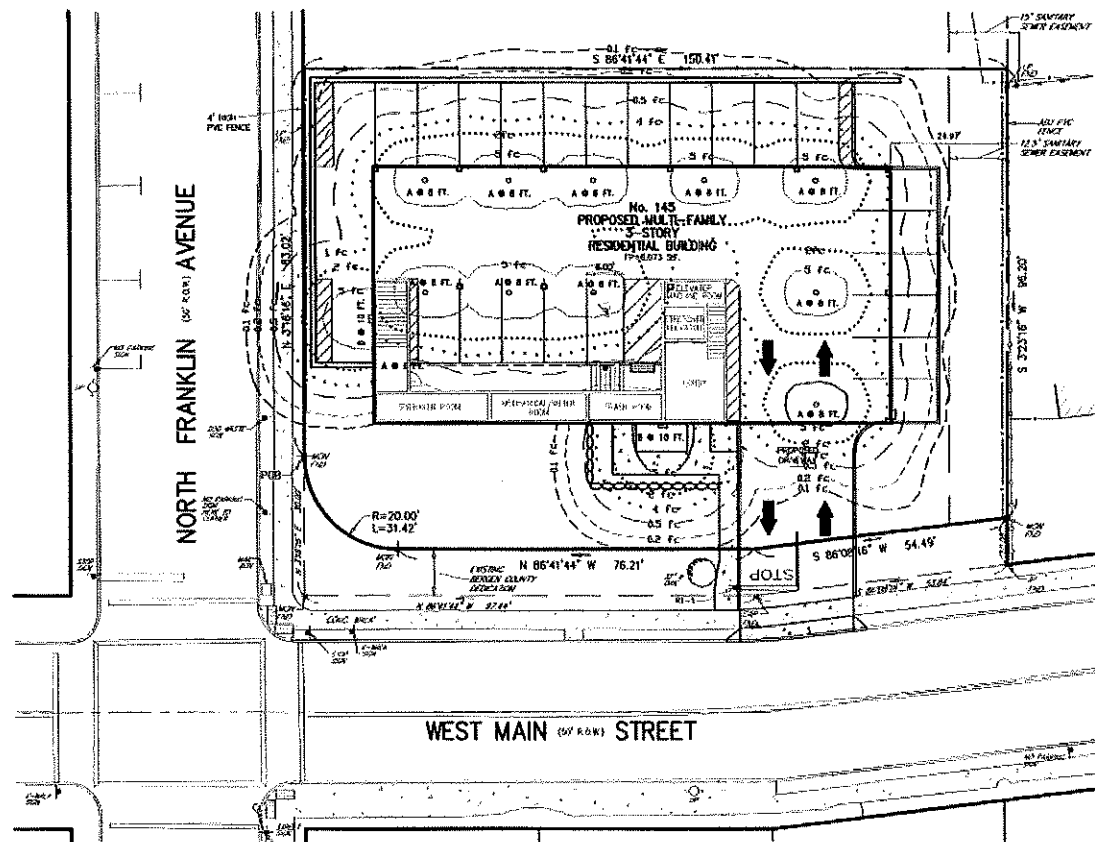


STORMWATER MANAGEMENT DETAIL

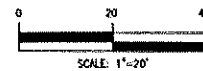
LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
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 BOROUGH OF BERGENFIELD, BERGEN COUNTY
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPIZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 JEWELLY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 20497 N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.
 DRAWN BY: B1
 CHECK BY: MJH
 SCALE: AS SHOWN
 DRAWING NO: 2000



LIGHTING PLAN



Symbol	Qty	Label	Arrangement	Lum. Lumens	LED	Description	Lum. Watts	Avg. Watts	Total Watts
A	10	CLED52/BL	SINGLE	2292	1.000	CEILING MOUNT	52	52	520
B	2	SUMMIT	SINGLE	1655	1.000	WALL MOUNT	16	16	32

CLED52/BL



LED ceiling light with precision optics deliver smooth and uniform distribution. Ideal for retail settings, workspace lighting and other applications requiring a high output commercial grade downlight.

Color: Bronze

Weight: 18.0 lbs

RAB

Project: _____ Type: _____

Prepared By: _____ Date: _____

Driver Info		LED Info	
Type	Constant Current	Watts	52W
220V	0.53A	Color Temp	5000K (Cool)
208V	0.35A	Color Accuracy	71 LRI
240V	0.30A	L70 LifeSpan	100,000 Hours
277V	0.25A	Lumens	2,292
Input Watts	39.1W	Efficiency	56.6 lm/W

RAB LIGHTING

Date: 28 Nov 2019
Time: Enter the time here...
Desc: Enter the description here...

For: Client's name or company...
By: Your name or company...

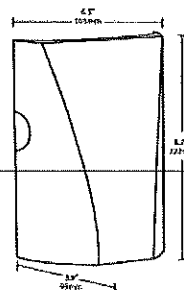
Luminaire

LED Luminaire: 146642500040 10

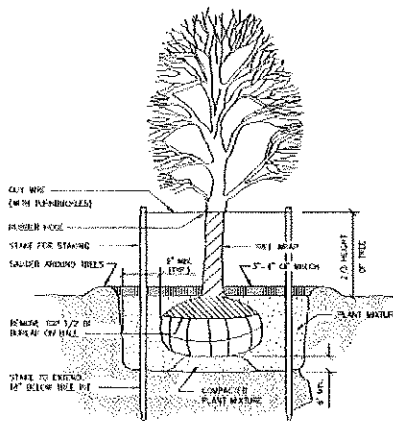
Description: CEILING
CASE BROWN ANODIZED FINISHED METAL
HOLLOW, 1.000" DEEP, 1.000" WIDE, 1.000" HIGH
ONE WHITE MULTI-CHIP LED LIGHTING

Light Loss Factor: 1.00
Number of Lamps: 1
Lamp Lumens: 1.000
Luminaire Watts: 18.1W

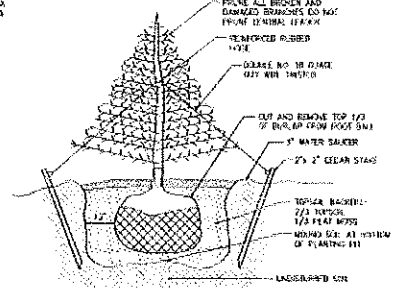
Dimensions



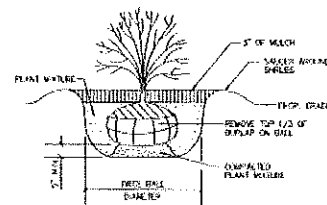
WALL MOUNT LIGHT FIXTURE DETAIL
TYPE 'B'
(MOUNTING HEIGHT = 10')



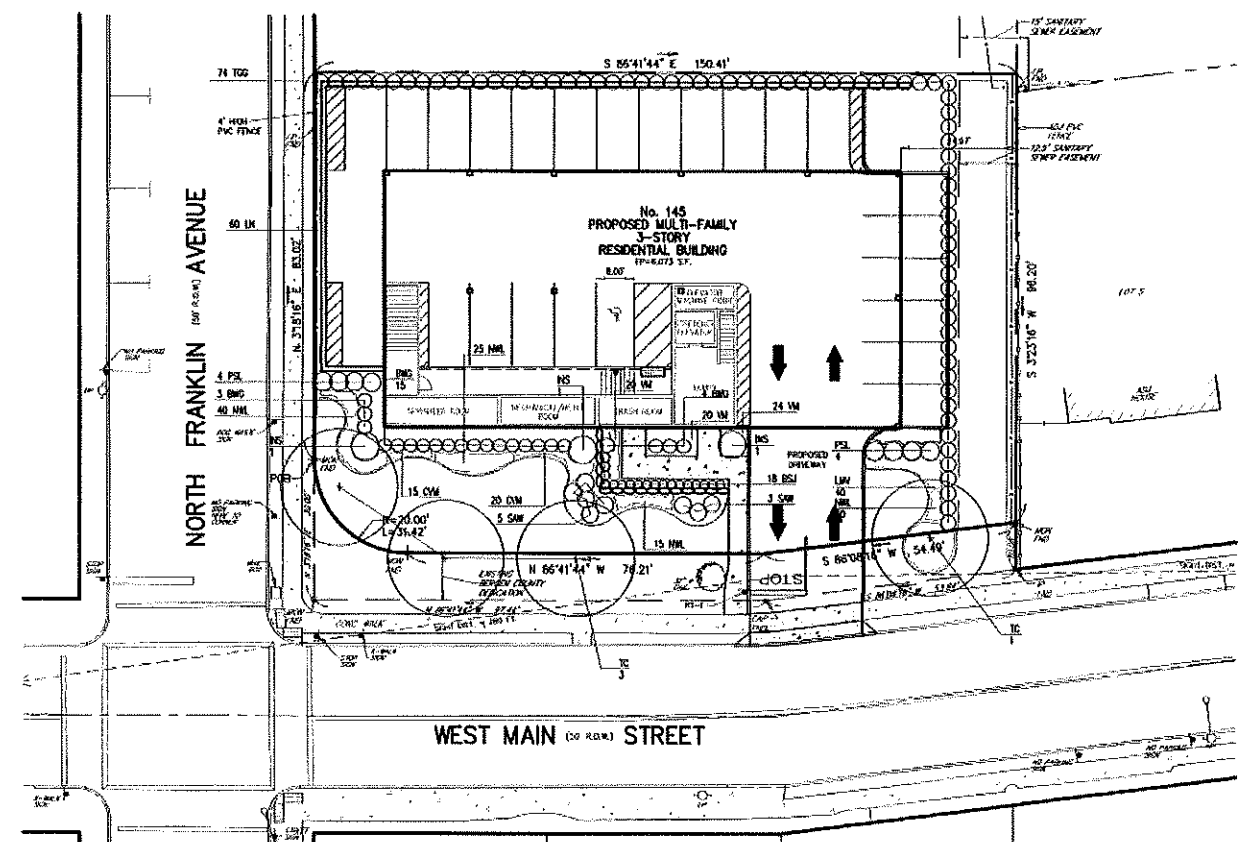
PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



LANDSCAPING PLAN



Master Plant List

Key	Botanical Name	Common Name	Qty.	Size	Comments
Trees					
INS	Ilex v. 'Nellie Stevens'	Nellie Stevens Holly	2	7'-8' ht.	
TGO	Thuja plicata 'Green Giant'	Green Giant Arborvitae	74	6'-7' ht.	3' o.c.
TC	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	4	3.5'-4" cal.	
Shrubs					
BSJ	Buxus 'Jensen'	Jensen Boxwood	18	18" ht.	18" o.c.
BWG	Buxus 'Winter Gem'	Winter Gem Boxwood	22	30" ht.	36" o.c.
PSL	Prunus laurocerasus 'Skip Laurel'	Skip Laurel Cherry Laurel	8	5'-6' ht.	4' o.c.
SAW	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	8	3g	
Perennials/Groundcovers					
CVM	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	35	1g	18" o.c.
LMV	Liriope muscari 'Variegata'	Variegated Lily Turf	40	1g	18" o.c.
LN	Lysimachia nummularia	Creeping Jenny	60	1g	12" o.c.
NWL	Nepeta 'Walkers Low'	Walkers Low Catmint	110	1g	18" o.c.
VM	Vinca minor	Myrtle	64	1g	12" o.c.

LANDSCAPE SPECIFICATIONS AND PLANTING NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY WITH THE ARCHITECT THAT HE IS WORKING FROM THE MOST CURRENT PLAN AND OR LATEST REVISIONS THEREOF, PRIOR TO ORDERING PLANTS AND BEGINNING WORK.
- PROTECT ALL EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- USE EXTREME CAUTION TO PROTECT UTILITIES.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES EXISTING OR PROPOSED IN THE AREA TO BE PLANTED, AND WHERE NECESSARY RELOCATE PLANTS AT THE DIRECTION OF THE ARCHITECT.
- QUANTITIES GIVEN IN THE PLANT LIST ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS REQUIRED TO COMPLETE THE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- LOCATIONS OF NEW PLANTS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL BEDS AND TREE SAUCERS SHALL RECEIVE 2 INCHES MINIMUM OF SHREDDED HARDWOOD MULCH, DARK IN COLOR.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM TIME OF LANDSCAPE ARCHITECTS FINAL WRITTEN APPROVAL.
- EARTH BACKFILL SHALL BE FREE FROM RUBBISH, DEBRIS, SOIL, ROOTS, OR ARTIFICIAL MATERIAL.
- BACKFILL FOR PLANTING SHALL BE THREE PARTS TOPSOIL, ONE PART SAND AND ONE PART PEAT MOSS.
- CONTRACTOR IS RESPONSIBLE FOR WATERING UNTIL INSTALLATION IS COMPLETE.
- CONTRACTOR TO REPAIR ALL LAWN AREAS DAMAGED FROM CONSTRUCTION AND PLANTING OPERATIONS.

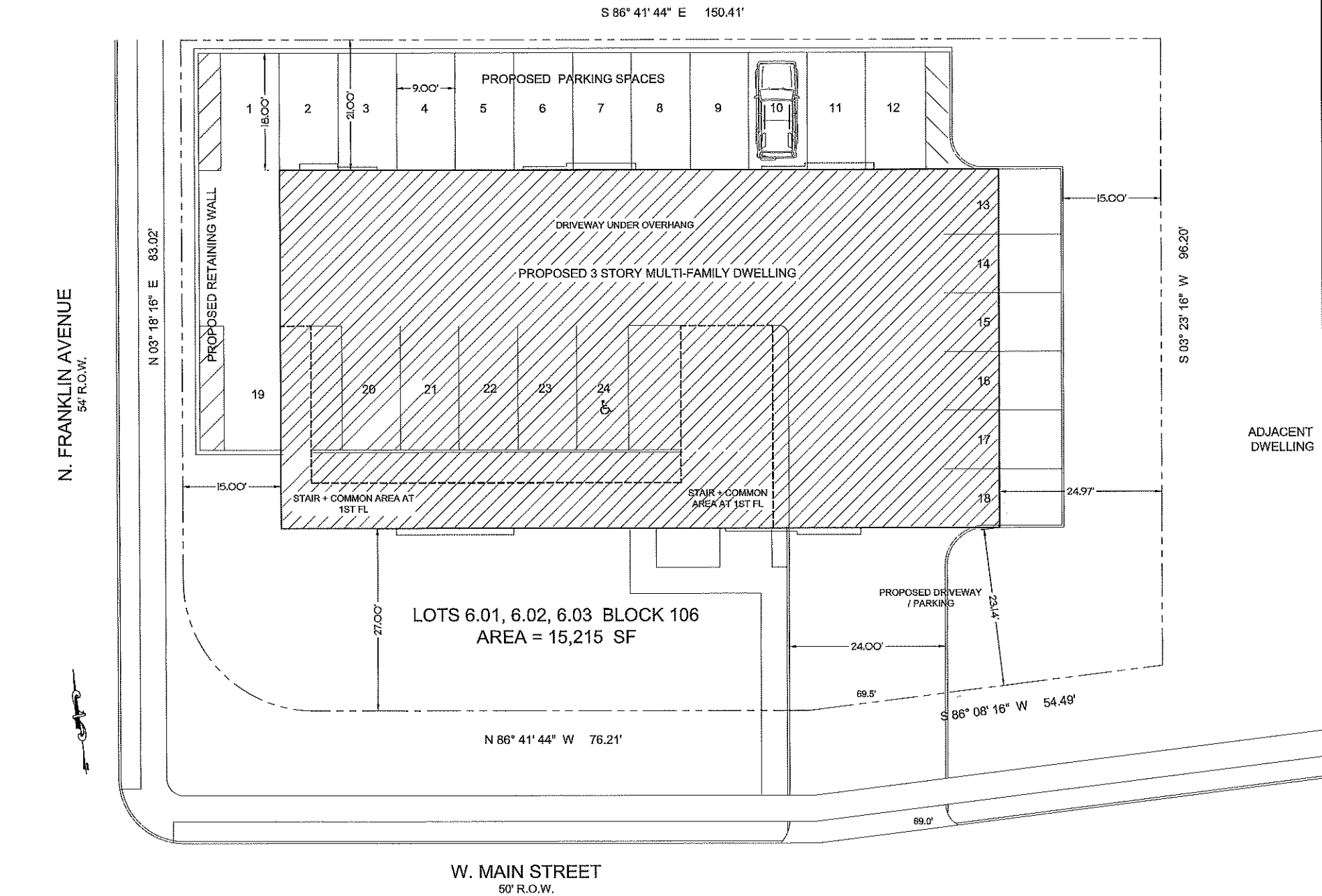
NO.	REVISIONS	DATE	BY
2	REVISED TO 14 UNITS	12-22-20	N.M.
1	REVISED BUILDING & SITE LAYOUT	5-1-20	N.M.

LIGHTING & LANDSCAPING PLAN

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD
BERGEN COUNTY
APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPREZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TEANECK, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 23497
N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.
DRAWN BY: D.J.
CHECK BY: M.J.H.
SCALE:
DRAWING NO.



(S) SITE PLAN
1" = 10'-0"

BUILDING DATA:














PARKING LEVEL:	0 - 1 BEDROOM UNITS	0 - 2 BEDROOM UNITS
1ST FLOOR:	6 - 1 BEDROOM UNITS	1 - 2 BEDROOM UNITS
2ND FLOOR:	6 - 1 BEDROOM UNITS	1 - 2 BEDROOM UNITS

PARKING DATA:

1 BEDROOM UNIT:	12 X 18 = 216 SPACES
2 BEDROOM UNIT:	2 X 20 = 4 SPACES

TOTAL 26 SPACES REQUIRED, 24 SPACES PROVIDED

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE PROPERTY OWNER: HUBSCHMAN ENGINEERING, ENGINEERS, LAND SURVEYORS, + PLANNERS, BERGENFIELD, NJ - ROBERT J. MUELLER P.L.S., LIC NO 37206 - DATED 1-8-20 + REV 12-22-20

<u>ELECTRICAL LEGEND</u>	
 • SURFACE MOUNT LIGHT FIXTURE	 • SINGLE POST ELECTRICAL SWITCH
	 • THREE WAY SWITCH
 • WALL MOUNTED LIGHT FIXTURE	 • DUPLEX RECEPTACLE OUTLET
 NEW OR EXIST SMOKE ALARM • INTERCONNECTED • HARD-WIRED W/ BATTERY BACKUP  NEW OR EXIST CARBON MONOXIDE • DETECTOR, INTERCONNECTED • HARD-WIRED W/ BATTERY BACKUP	 • GROUND FAULT INTERRUPT RECEPTACLE OUTLET  • W.P. WATER PROOF RECEPTACLE OUTLET
 • SURFACE MOUNT FAN / LIGHT FIXTURE	 NEW OR EXIST EXHAUST FAN, 80 CFM 3 FIXTURES, 110CFM • 4 FIXTURES  NEW CABLE TV, TV OUTLET FOR CABLE TV, INTERNET  NEW TELEPHONE OUTLET - VERIFY TYPE • LOCATION WITH OWNER

LEGEND

	EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16\"/>
	EXISTING CONCRETE CONSTRUCTION TO REMAIN
	EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
	NEW POURED OR MASONRY CONC CONSTRUCTION

FLOOR ABOVE OR BELOW

NEW JOISTS, RAFTERS, ETC.

NEW GIRDERS, RIDGEBEAMS, ETC.

1	12-22-20	Reduced to 14 U
#	Date	Revision

New Construction for:

Multi Family Bui

Block: 106 Lot: 6.01, 6.02
145 Main Street
Bergenfield, New Jersey

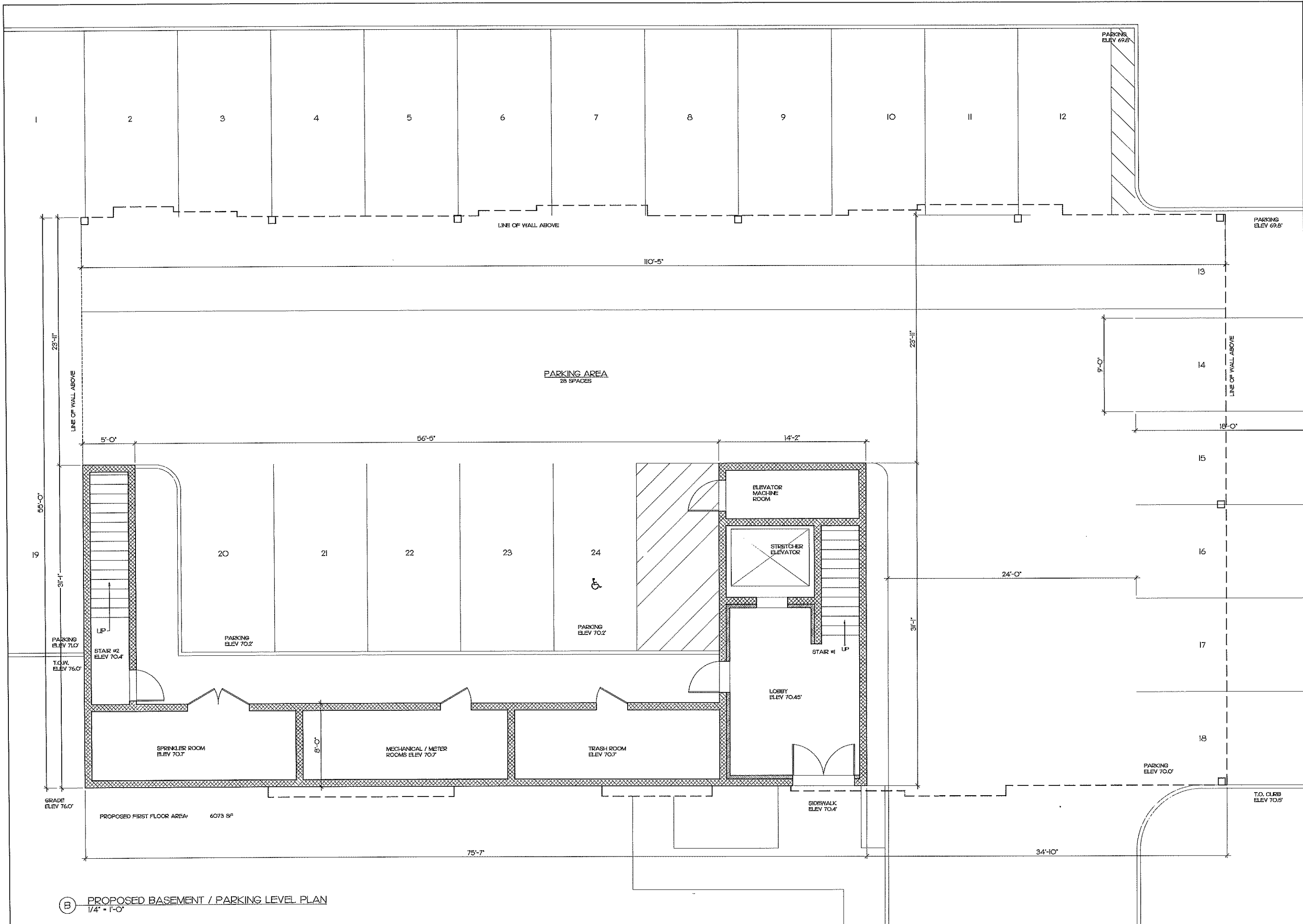
SITE PLAN, LEGEND + ZON

Scale: AS NOTED

Date: MAY 4, 2020

Submission: ZONING APPL

Indemnification Clause:
The owner shall release, hold harmless, a
Architect with respect to: any changes in
construction documents by anyone other t
or changes in any aspect of the work, or f
Contractor to build in accordance with the
documents.



1	12-22-20	Reduced to 1/4" = 1'-0"
#	Date	Revision

New Construction for:

Multi Family B
Block: 106 Lot: 6.01, C
145 Main Street
Bergenfield, New Jersey

BASEMENT FLOOR PLAN

Scale: 1/4" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING APPLICATION

Indemnification Clause:
The owner shall release, hold harmless, defend and indemnify the Architect with respect to any claims, damages, losses, or expenses, including reasonable attorneys' fees, or changes in any aspect of the work, Contractor to build in accordance with the documents.



1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

1 | 12-22-20 | Reduced to 14
 # | Date | Revision
 New Construction for:

Multi Family B
 Block: 106 Lot: 6.01, 6
 145 Main Street
 Bergenfield, New Jersey

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING AP

Indemnification Clause:
 The owner shall release, hold harmless, defend and indemnify the Architect with respect to any claims, damages, losses, or expenses, including reasonable attorneys' fees, or changes in any aspect of the work, or Contractor to build in accordance with the documents.



1	12-22-20	Reduced to 14
#	Date	Revision

New Construction for:

Multi Family B

Block: 106 Lot: 6.01, 6
145 Main Street
Bergenfield, New Jersey

SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

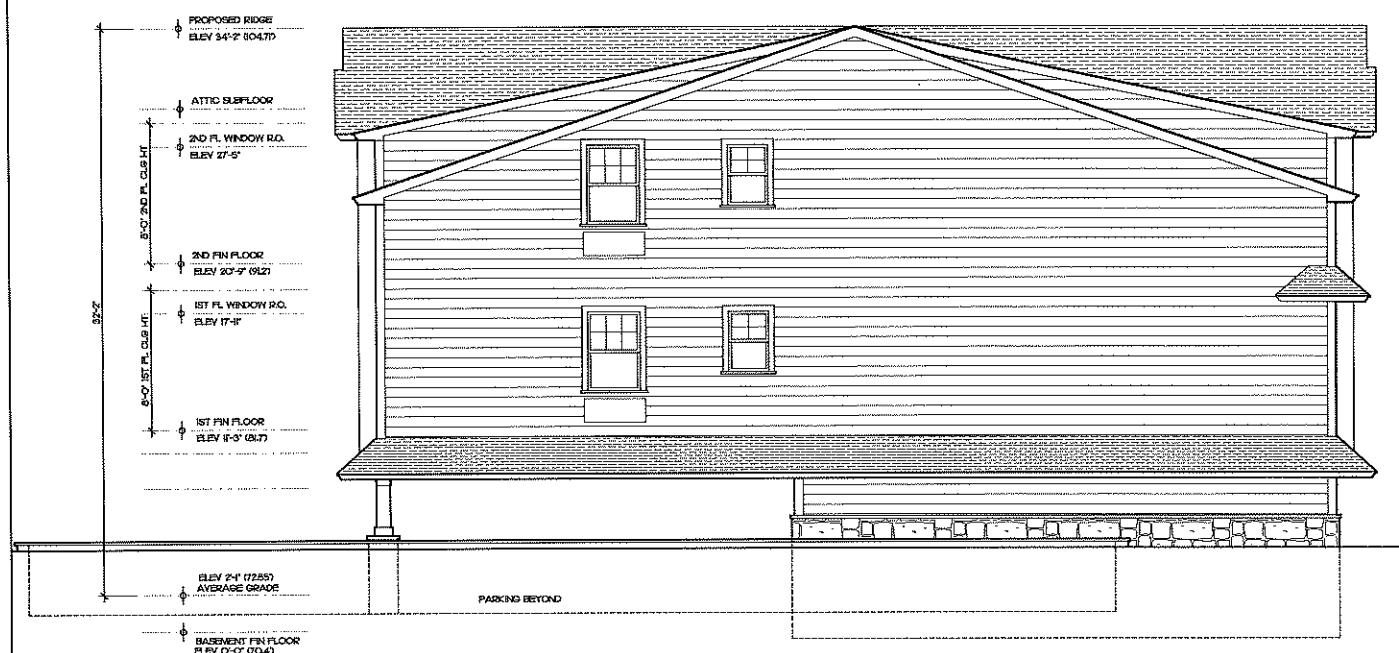
Date: MAY 4, 2020

Submission: ZONING AP

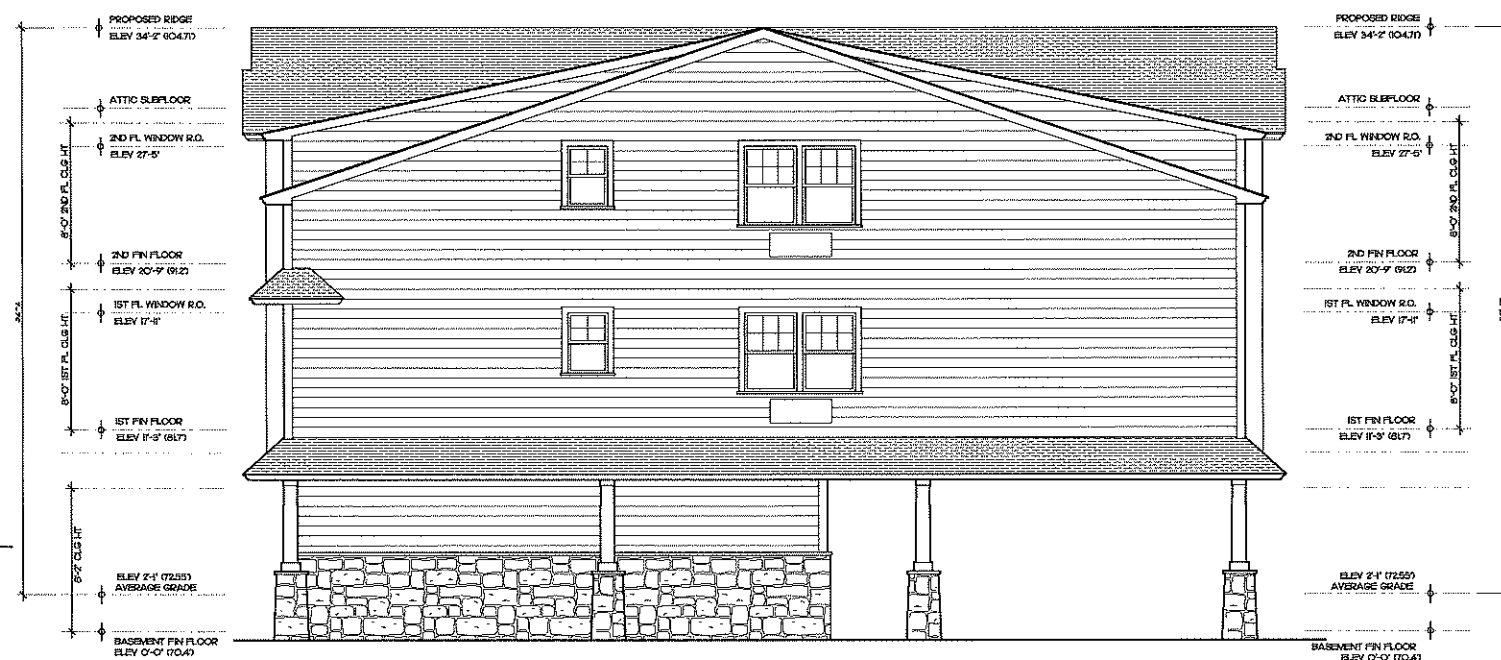
Indemnification Clause:
The owner shall release, hold harmless, defend and indemnify the Architect with respect to any changes or construction documents by anyone other than the Architect or any changes to any aspect of the work, or Contractor to build in accordance with documents.



3 PROPOSED FRONT MAIN STREET ELEVATION
3/16" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
3/16" = 1'-0"



6 PROPOSED RIGHT SIDE ELEVATION
3/16" = 1'-0"

1 | 12-22-20 | Reduced to 14
| Date | Revision

New Construction for:

Multi Family Bu

Block: 106 Lot: 6.01, 6.02
145 Main Street
Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING AP

Indemnification Clause:
The owner shall release, hold harmless, defend and indemnify the Architect with respect to any claims, damages, losses, or expenses, including reasonable attorneys' fees, incurred by the Architect or its subcontractors or suppliers in connection with or arising out of the performance of the Architect's services under this Agreement, whether or not such claims, damages, losses, or expenses are caused in whole or in part by the negligence of the Architect or its subcontractors or suppliers.



5 PROPOSED REAR ELEVATION
3/16" = 1'-0"

#	Date	Revision
1	12-22-20	Reduced to 14

New Construction for:

Multi Family B
Block: 106 Lot: 6.01, 6
145 Main Street
Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING AP

Indemnification Clause:
The owner shall release, hold harmless, defend and indemnify the Architect with respect to any change orders, construction documents by anyone other than the Architect, or changes in any aspect of the work, Contractor to build in accordance with documents.



3 PROPOSED FRONT MAIN STREET ELEVATION
3/16" = 1'-0"



3 ALTERNATE FRONT MAIN STREET ELEVATION - FLAT ROOF
3/16" = 1'-0"

1	12-22-20	Reduced to 14
#	Date	Revision

New Construction for:

Multi Family Bu
Block: 106 Lot: 6.01, 6.
145 Main Street
Bergenfield, New Jersey

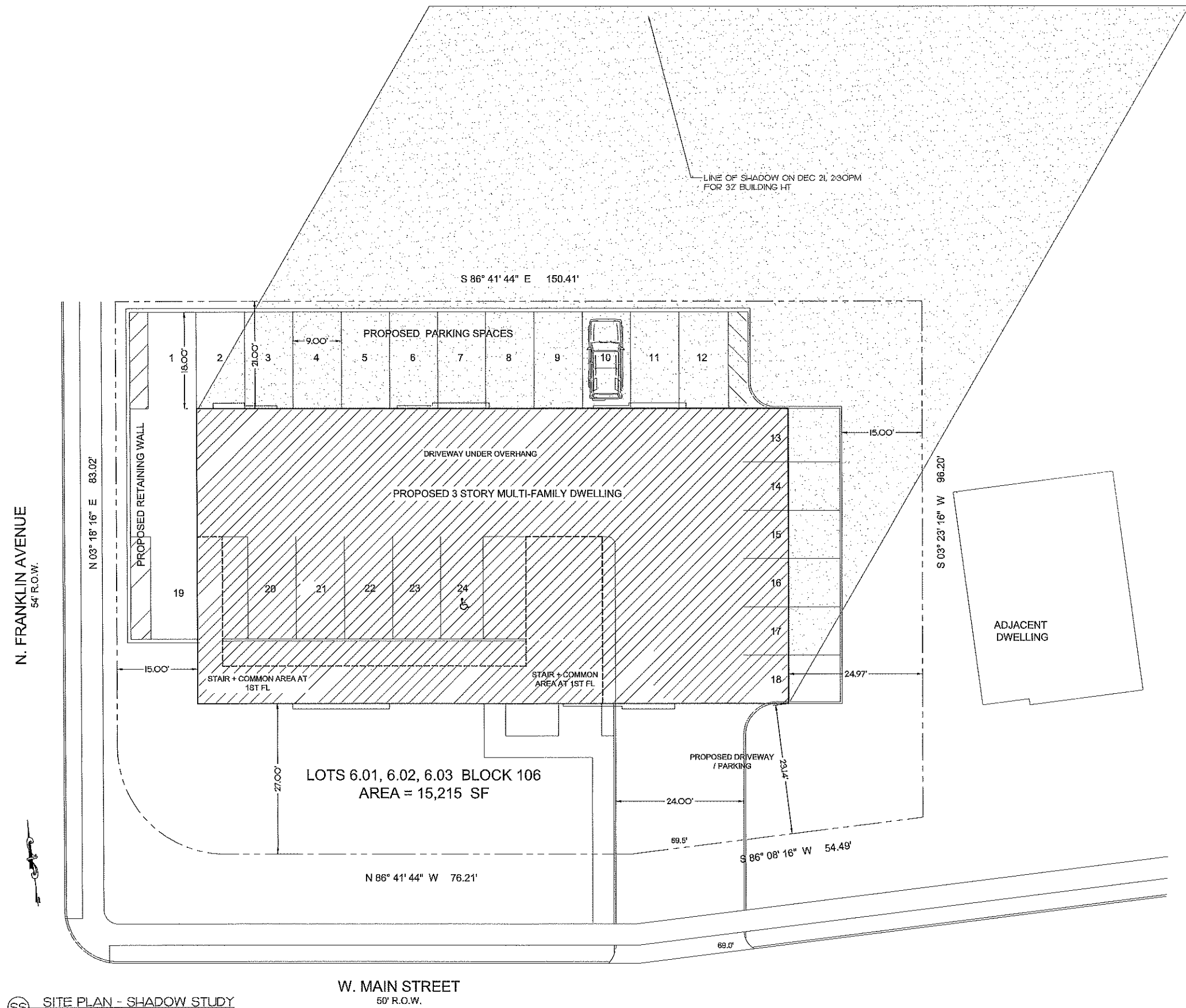
ALTERNATE ELEVATION

Scale: 3/16" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING AP

Indemnification Clause:
The owner shall release, hold harmless
Architect with respect to any changes
construction documents by anyone oth
or changes in any aspect of the work, c
Contractor to build in accordance with
documents.



SS SITE PLAN - SHADOW STUDY
1" = 10'-0"

1	12-22-20	Reduced to 14 U
#	Date	Revision

New Construction for:

Multi Family Bui

Block: 106 Lot: 6.01, 6.02, 6.03
145 Main Street
Bergenfield, New Jersey

SITE PLAN W/ SHADOW ST

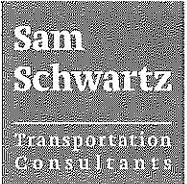
Scale: 1" = 10'-0"

Date: MAY 4, 2020

Submission: ZONING APPL

Indemnification Clause:
The owner shall release, hold harmless, a
Architect with respect to any changes in
construction documents by anyone other
or changes in any aspect of the work, or
Contractor to build in accordance with th
documents.

30 Montgomery Street, Suite 1340
Jersey City, NJ 07302
phone: (201) 805-8819
samschwartz.com



December 30, 2020

Bergenfield Zoning Board of Adjustment
Bergenfield Municipal Building
198 N. Washington Avenue
Bergenfield, NJ 07621

**Reference: Supplemental Traffic & Parking Assessment
Multi-Family Residential Development
145 W Main Street
Bergenfield, NJ
Block 106, Lots 6.01, 6.02, 6.03**

Dear Members of the Board:

Based on the previous hearings and the revised proposed site plan, we offer the following additional information/analysis:

- 1. Proposed Vehicle Trips generated
- 2. Adequacy of onsite parking
- 3. Use of private trash carter
- 4. Findings based upon receipt of accident data
- 5. Revised driveway location

1. Proposed Vehicle Trip Generation – The proposed Site Plan consists of 14 residential units (12 One-Bedroom and 2 Two-Bedroom units). The proposed Multi-Family Residential development would likely include up to 7, 10, and 10 vehicles per hour (vph) during the AM, PM, and Saturday Peak Hours, respectively. The table below depicts the previous 16 proposed units, the current 12 proposed units, and 3 single family homes for reference. Although there would be an increase in traffic volumes during the Peak Hours, the net increase and the overall traffic generated would be very minor

	AM Peak Hour Trips	PM Peak Hour Trips	SAT Peak Hour Trips
16 Units	8	12	11
14 Units	7	10	10
3- SF Homes	7	4	21

2. Adequacy of On-Site Parking – On-site parking provides for 24 parking spaces (including 1 ADA accessible space). The PSIS requires 26 parking spaces (1.8 space for a 1



**Re: Supplemental Traffic & Parking Assessment
Multi-Family Residential Development
145 W Main Street**

bedroom unit and 2.0 spaces for a 2-bedroom unit). Therefore, a 2-parking space variance is required.

Based on the small square footage of the proposed residential units, and the current Bergenfield vehicle ownership, the proposed 24 parking spaces proposed would be sufficient for the proposed Multi-Family Residential development site.

RSIS requires 1.8 spaces per unit, for a 1-bedroom unit, which is excessive for this site based on the US Census Vehicle ownership data for this tract of Bergenfield (8% do not own a vehicle), and 15% utilize public transportation or other means to get to work.

The 12 proposed 1-Bedroom units would be assigned 1 parking each (12 spaces) and 2 proposed 2-bedroom units would be assigned 2 parking spaces each (4 spaces) for a total of 16 parking spaces. Therefore, 8 spaces would be available for guest and resident parking on-site and existing on-street parking along N Franklin Avenue (which is designated for School Drop-Off) – however, these 15 parking spaces would be available after school hours and on the weekends, but not overnight.

3. **Use of private trash carter** – The proposed site would utilize and schedule a private trash pick-up to eliminate having trash containers along the frontage of the site/Main Street and also not interfering with the driver sight distance exiting the proposed driveway.
4. **Findings based upon receipt of accident data** - We requested copies of all crash reports along the segment of W. Main Street, between N. Franklin Avenue and Haring Street for the past three years (2019, 2018, and 2017). **FIGURE 1** shows a summary of crash data received. There was a total of six crash reports ranging from intersection to animal interactions. These crash reports do not have any correlation to the proposed driveway along W Main Street.
5. **Revised driveway location** – The revised proposed driveway location along W Main Street would be safe and efficient. The proposed driveway could provide pedestrian signal heads across the proposed driveway / sidewalk to increase pedestrian safety and awareness. In addition, there also could be prohibitions on left turns in and out of the proposed driveway. The proposed driveway should not be in conflict with existing driveways across W Main Street as the roadway provides for sufficient width.

Sincerely,

A handwritten signature in black ink, appearing to read "Louis J. Luglio", written over a horizontal line.

Louis J. Luglio, P.E.
lluglio@samschwartz.com

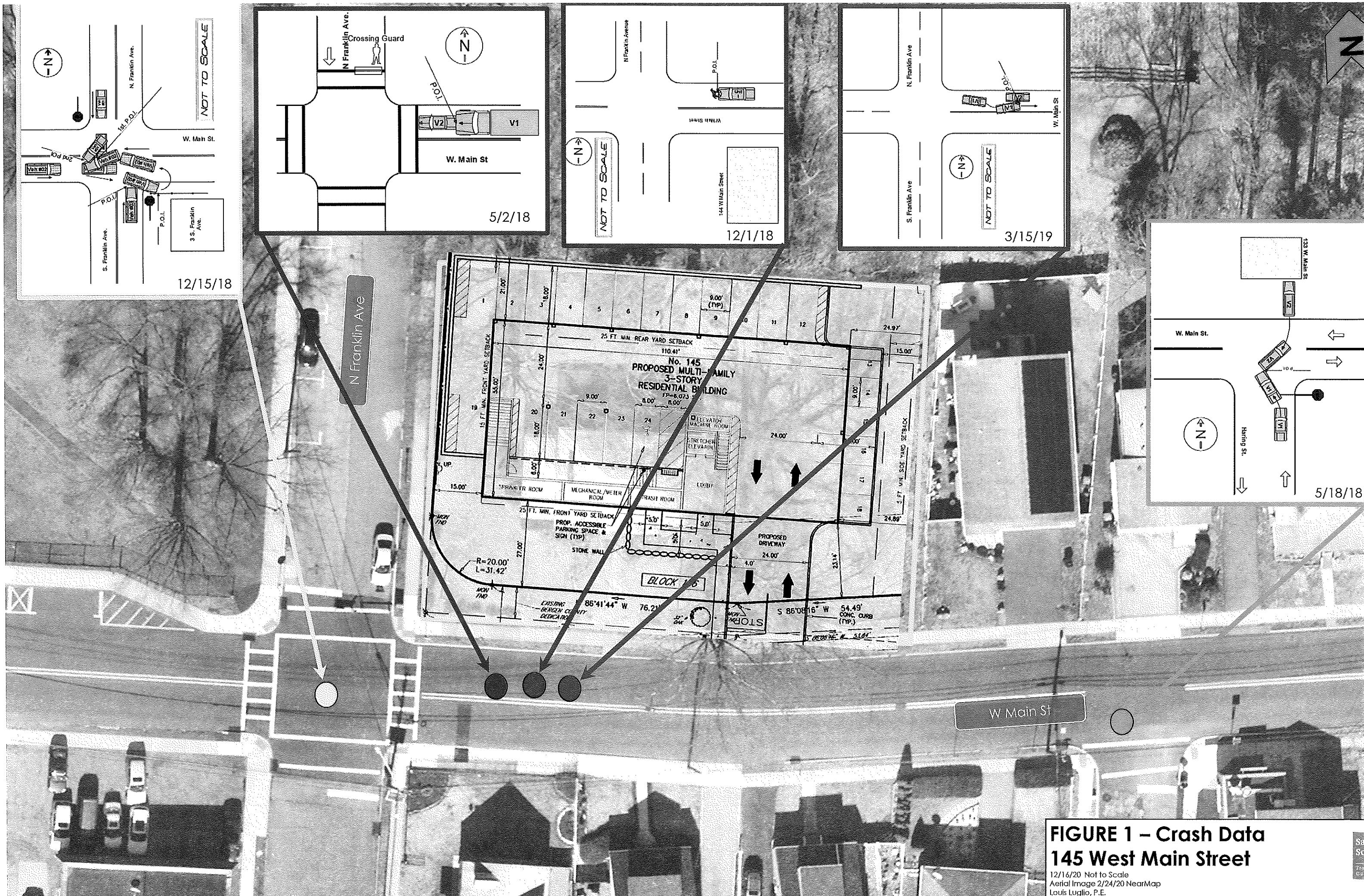


FIGURE 1 – Crash Data
145 West Main Street

12/16/20 Not to Scale
Aerial Image 2/24/20 NearMap
Louis Luglio, P.E.

BOROUGH OF BERGENFIELD

BOARD OF ADJUSTMENT

APPLICATION AND INSTRUCTIONS TO APPLICANTS

Instructions include: page 1-3

Application include: page 1-9

RECEIVED BY _____ Date _____

PROPERTY ADDRESS 76 LAKE STREET

BLOCK 225 LOT 23

DATE APPLICATION RECEIVED _____

ESCROW FEES 3000 + 60 Collected by _____

Date _____

APPLICATION FEES 50 + 10 - list Collected by _____

Date _____

FILE NO. _____ DATE _____
 DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
 MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
 OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME Alleva Construction, Inc.
 ADDRESS 78 LAKE ST.
 OWNER'S NAME Genevieve McCarthy
 OWNER'S ADDRESS 78 LAKE ST. PHONE # 917-447-1888
22-3360869 FED I.D.# or S S _____

Applicant will be represented at public hearing by Tom Mesuk, AEA

TO THE BOARD OF ADJUSTMENT:
 Application is hereby made for a variation/appeal from the
 requirements of Section(s) _____ and/or from the
 requirements of the Scheduled Limiting Bulk of Buildings of
 the Zoning Ordinance in accordance with plans and
 specifications attached hereto and/or decision of Zoning
 Officer. The location of this property is at
 NUMBER: 78 LAKE ST.

DESIGNATED AS Block(s) 225 and Lot(s) 23
 on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R5

VARIANCES REQUIRED: LOT AREA ☒ LOT FRONTAGE _____

LOT COVERAGE _____ FRONT YARD _____ REAR YARD _____ SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____

THE REASON FOR DESIRED VARIANCE/APPEAL

WE ARE PROPOSING A SECOND FLOOR ADDITION ON
AN UNDERSIZED LOT. LOT SIZE REQUIRED 5,000 SF.
LOT SIZE 4,000 SF. REQUESTING VARIANCE FOR
UNDERSIZED LOT.

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 50 x 80 2. SQUARE FEET IN LOT 4,000
3. SIZE OF PRESENT BUILDINGS _____ x _____ 4. STORIES 2
_____ x _____
5. TOTAL AREA 1250.54 SQ. FT. 6. NUMBER OF ROOMS 8
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 23.97%
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY SINGLE FAMILY
RESIDENCE
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____
NO ✓ (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY...
RESIDENTIAL OCCUPANCIES
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
PREMISES? YES _____ NO ✓ IF SO, DATE FILED _____
DISPOSITION _____
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
ORDINANCE? YES _____ NO _____ (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO ✓
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO ✓
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
MUNICIPALITY? YES _____ NO ✓
-

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO ✓
17. SIZE OF NEW ADDITION 10'-4" x 7'-22" SQ. FT.
227.14 AREA 7'-8" HEIGHT
18. SIZE OF NEW BUILDINGS _____ x _____ SQ. FT.
 _____ AREA _____ HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
23.37 %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 1 FAMILY

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

Genevieve McCarthy of full age, duly sworn
according to the law, deposes and says that he resides at
17 Lane Street in the Borough of Union
in the County of Bergen in the State
of New Jersey that he is the owner in fee of real
property lying in the Borough of Bergenfield, known and
designated as number 17 Lane Street and that he
hereby authorizes Alvina Construction/Tom Mesole to make the
within application in his behalf and that the statements in
the said application are true.

SWORN TO BEFORE ME THIS 12th
DAY OF November 12 2020

Gene McCarthy
Owner

Dawn M Rizzo
Notary Public

Note: all partnership and corporations must supply a list of
stockholders with a 10% or greater share, that they must also
be represented by an Attorney at the hearing.

Dawn M Rizzo
NOTARY PUBLIC
State of New Jersey
ID #50078282
My Commission Expires 3/6/2023

By order of the Board of Adjustment of Bergenfield

AFFIDAVIT BOARD OF ADJUSTMENT

OF THE

BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY
COUNTY OF BERGEN
BOROUGH OF BERGENFIELD

SS:

Name of Applicant

Genevieve McCann being duly sworn deposes
and says; that he reside at number 18
in the Borough of Bergenfield, in the County of Bergen
in the State of New Jersey, and says that he is the
appellant making appeal for a variation/appeal of the
provisions of the Zoning Ordinance of the Borough of
Bergenfield in connection with the property which is the
subject matter of this appeal and known as number 18
designated as Block 18 and Lot 18 on the Assessment
Map of the Borough of Bergenfield. That all statements made
in this application, and statements made in the plans
submitted herewith are true. The applicant further states
that he is ready and able to proceed with the construction if
and when the application is granted.

Sworn to me this- 12th
day of November 2020

Dawn M Rizzo
Notary Public

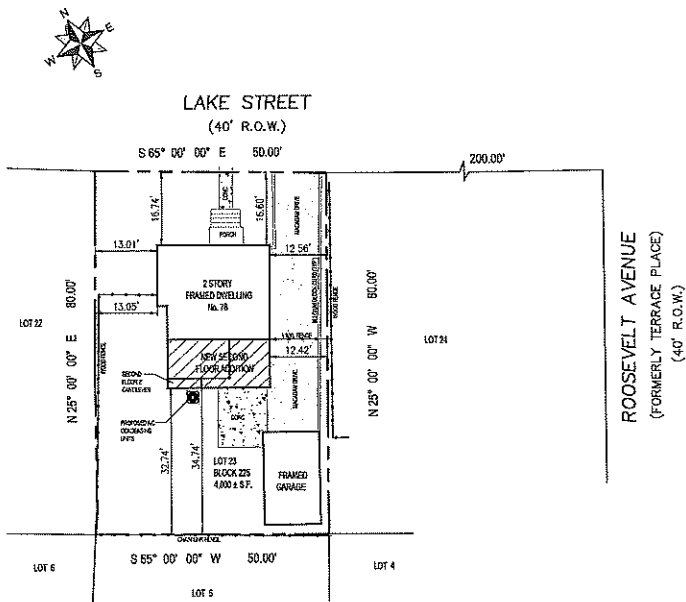
Genevieve McCann
Applicant

Note: All partnerships and corporations must supply a list of
stockholder with a 10% or greater share, they must also be
represented by an Attorney at the hearing.

Dawn M Rizzo
NOTARY PUBLIC
State of New Jersey
ID #50078282
My Commission Expires 3/6/2023

PLOT PLAN

INFORMATION FOR THIS PLOT PLAN WAS OBTAINED FROM A SURVEY DONE BY JAMES P. DEADY, PROFESSIONAL LAND SURVEYOR AND PLANNER, ON MARCH 1, 2006 FOR PROPERTY LOCATED AT 78 LAKE STREET, BERGENFIELD NJ LOT 23 BLOCK 225.



ZONING INFORMATION: 78 LAKE STREET, BERGENFIELD, NJ, LOT # 23, BLOCK # 225
ZONE: R-5

CRITERIA	REQUIRED	PROVIDED	REMARKS
LOT AREA (SQ. FT.)	5,000 S.F. (MIN.)	4,000 S.F.	EXISTING UNCHANGED
LOT WIDTH (LIN. FT.)	50 LIN. FT. (MIN.)	50 LIN. FT.	EXISTING UNCHANGED
FRONT YARD SETBACK	25 FT. (MIN.)	16.6 FT.	EXISTING CONDITION UNCHANGED NON-CONFORMING
REAR YARD SETBACK	25 FT. (MIN.)	32.74 FT.	NEW CONDITION CONFORMING
SIDE YARD (ONE) SETBACK	5.0 FT. ONE SIDE (MIN.)	12.42 FT. (LEFT SIDE)	EXISTING UNCHANGED
SIDE YARD (TWO) SETBACK	10.0 FT. OTHER SIDE (MIN.)	13.01 FT. (RIGHT SIDE)	EXISTING UNCHANGED
HEIGHT RESTRICTIONS	30.0 FT. / 2 STORY (MAX.)	27.89 FT. / 2 STORY	EXISTING UNCHANGED
LOT COVERAGE	30% OF LOT SIZE (MAX.)	23.37% COVERAGE OF LOT SIZE WHICH EQUALS 935.1 S.F. OF THE 4,000 S.F. LOT SIZE	NEW CONDITION CONFORMING
IMPROVED LOT COVERAGE	40% OF LOT SIZE (MAX.)	43.1% COVERAGE OF LOT SIZE WHICH EQUALS 1,724.03 S.F. OF THE 4,000 S.F. LOT SIZE	EXISTING UNCHANGED NON-CONFORMING NOT IMPACTED BY PROPOSED CONSTRUCTION- NEW ADDITION TO BE BUILT OVER EXISTING CONC. SLAB

ALTERATION/RENOVATION FOR:
McCARTHY RESIDENCE
78 LAKE STREET
BERGENFIELD, NEW JERSEY

ABBREVIATIONS

A.C.T.	ACOUSTIC CEILING TILE	CAB.	CABINET	DET.	DETAIL	F.D.	FLOOR DRAIN	HDR.	HEADER	MAS.	MASONRY	PLAST.	PLASTIC	SCHED.	SCHEDULE	U.O.N.	UNLESS OTHERWISE NOTED
ADJUST.	ADJUSTABLE	CEM.	CEMENT	D.F.	DRINKING FOUNTAIN	F.F.	FINISHED FLOOR	HTR.	HEATER	MAT.	MATERIAL	PCS.	PIECES	SECT.	SECTION		
A.F.F.	ABOVE FINISH FLOOR	CL.	CENTER LINE	D.H.	DOUBLE HUNG	F.A.I.	FRESH AIR INTAKE	HORIZ.	HORIZONTAL	MAX.	MAXIMUM	PROP.	PROPERTY	SHT.	SHEET		
@	AT	CLG.	CEILING	DN.	DOWN	FLASH	FLASHING	HGT.	HEIGHT	MECH.	MECHANICAL	PART.	PARTITION	SIM.	SIMILAR		
ANCH.	ANCHORED	C.J.	CEILING JOINT	DIAG.	DIAGONAL	F.E.	FIRE EXTINGUISHER	H.M.	HOLLOW METAL	MFR.	MANUFACTURER	PERF.	PERFORATED	SQ. FT.	SQUARE FOOT	V.C.T.	VINYL COMPOSITE TILE
ADJ.	ADJACENT	CL.	CLOSET	DWG	DRAWING	FIN.	FINISH	I.D.	INSIDE DIAMETER	MIN.	MINIMUM	PL.	PLATE	SPECS.	SPECIFICATIONS	VERT.	VERTICAL
ALUM.	ALUMINUM	CONC.	CONCRETE	ELEV.	ELEVATION	FLR.	FLOOR	INSUL.	INSULATION	M.O.	MASONRY OPENING	PTD.	PAINTED	STIFF.	STIFFENERS	V.T.R.	VENT THRU ROOF
ALT.	ALTERNATE	COL.	COLUMN	EQUIP.	EQUIPMENT	FOUND.	FOUNDATION	INT.	INTERIOR	MTD.	MOUNTED	PR.	PAIR	STL.	STEEL	W/	WITH
APPROX.	APPROXIMATE	CONSTR.	CONSTRUCTION	EXIST.	EXISTING	F.R.T.	FIRE RETARDANT TREATED	INFO.	INFORMATION	M.L.	MICRO LAM	P.T.	PRESSURE TREATED	STOR.	STORAGE	WD.	WOOD
APB	ANTHONY POWER BEAM	C.O.	CLEAN OUT	ELEV.	ELEVATION	GA.	GAUGE	INT.	INTERIOR	M.S.	MARBLE SADDLE	Q.T.	QUARRY TILE	STRUCT.	STRUCTURE	W.F.	WIDE FLANGE
		C.O.D.P.	CLEAN OUT W/ DECK PLATE	EQUIP.	EQUIPMENT	FOUND.	FOUNDATION	INT.	INTERIOR	N.O.	NOT IN CONTRACT			SUSP.	SUSPENDED	W.I.C.	WALK IN CLOSET
		CONT.	CONTINUOUS	EXIST.	EXISTING	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT					W/O	WITHOUT
		CONTR.	CONTRACT	EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
		C.T.	CERAMIC TILE	EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
		CRS.	COURSE	EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
		CTR.	COUNTER	EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
BH.	BETTER HEADER			EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
BM.	BEAM			EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
B.C.	BRICK COURSE			EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
BLDG.	BUILDING			EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
BLK.	BLOCK			EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
BLKG.	BLOCKING			EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						
BOT.	BOTTOM			EXP.	EXPANSION	GA.	GAUGE	INT.	INTERIOR	N.O.	NOT IN CONTRACT						

PROJECT DATA

USE GROUP.....	R5
CONSTRUCTION TYPE.....	5B
BUILDING AREA (CALCULATIONS DONE FROM OUTSIDE FACE OF WALL)	
1ST FLOOR LIVABLE.....	581.0 S.F. (EXISTING CONDITION)
2ND FLOOR LIVABLE.....	442.4 (EXISTING CONDITION) 227.14 S.F. (NEW ADDITION)
TOTAL LIVABLE	1,250.54 S.F.
VOLUME (CU. FT.) 3,142.1 CU. FT. (NEW ADDITION)	

SCOPE OF WORK

- THESE SPECIFICATIONS ARE GENERAL IN FORM, THE OWNER IN APPLYING THEM ASSUMES COMPLETE RESPONSIBILITY FOR THEIR SUBSTITUTIONS, CHANGES AND OMISSIONS.
- THE CONTRACTOR SHALL APPLY ALL MATERIALS, FIXTURES AND LABOR NECESSARY TO COMPLETE ALL THE WORK NOTED ON THESE PLANS AND AS OTHERWISE REQUIRED. ALL MATERIALS SHALL BE FREE FROM DEFECTS, ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER ACCEPTABLE WITH MODERN PRACTICE.
- THE ARCHITECT LIMITS HIS RESPONSIBILITY IN REGARDS TO THESE DRAWINGS, TO DIMENSIONS SIZE OF THE STRUCTURAL MEMBERS AND MATERIALS BEFORE PROCEEDING. THE ARCHITECT DISCLAIMS ALL RESPONSIBILITY IF THE BUILDING IS CONSTRUCTED WITH DIMENSIONS, SIZES, OR MATERIALS, THAT DEVIATE FROM THESE DRAWINGS.
- THE ARCHITECT HAS MADE NO DETERMINATION AS TO THE PRESENCES OF ANY ASBESTOS CONTAINING OR OTHERWISE HARMFUL MATERIAL. THE OWNER SHALL PROVIDE THE CONTRACTOR WITH ANY KNOWLEDGE OF SUCH MATERIALS PRIOR TO COMMENCING THE WORK. THE CONTRACTOR, PRIOR TO SUBMITTING A BID SHALL VISIT THE SITE TO DETERMINE IF ANY VISIBLE ASBESTOS OR OTHER HARMFUL MATERIAL IS PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER REMOVAL AND DISPOSAL OF ANY SUCH MATERIAL WHETHER KNOWN PRIOR TO START OF WORK OR UNCOVERED AT ANY TIME DURING THE PROJECT.

GENERAL NOTES & CODE REFERENCES

- ALL CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, SPECIFICATIONS OR ANY OTHER DOCUMENTS, EACH CONTRACTOR CONCERNED, SHALL WITHIN (7) DAYS AFTER RECEIVING SUCH DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, NOTIFY THE ARCHITECT, IN WRITING OF SUCH ERROR OR OMISSION. IN THE EVENT OF THE CONTRACTORS FAILURE TO GIVE SUCH NOTICE, HE WILL BE HELD RESPONSIBLE FOR THE RESULT OF ANY SUCH ERROR OR OMISSION AND THE COST OF RECTIFYING THE SAME.
- ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE, AND WORKMANS COMPENSATION INSURANCE. ALL PHASES OF THE CONSTRUCTION SHALL COMPLY TO LOCAL, STATE, AND FEDERAL SAFETY LAWS.
- ALL ELECTRICAL WORK SHALL COMPLY TO THE NATIONAL ELECTRICAL CODE. (NFPA 70 / 2017)
- ALL PLUMBING WORK SHALL COMPLY TO THE NATIONAL STANDARD PLUMBING CODE 2018 EDITION.
- ALL HEATING, VENTILATION AND AIR CONDITIONING WORK, INSTALLATION AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NJ EDITION OF THE INTERNATIONAL MECHANICAL CODE (2018).
- ALL BUILDING SHALL CONFORM TO INTERNATIONAL RESIDENTIAL CODE - 2018 N.J. EDITION AND REHABILITATION SUBCODE (N.J.U.C.C., SUBCHAPTER 6)
- ENERGY CONSERVATION: INTERNATIONAL ENERGY CONSERVATION CODE (2018)

DRAWING LIST

ARCHITECTURAL	
T-1	TITLE SHEET
A-1	PROPOSED FRAMING PLANS, WALL PARTITION TYPES, WINDOW SCHEDULE, WINDOW DETAILS
A-2	SECOND FLOOR POWER & LIGHTING PLAN, ELECTRICAL DETAILS, PLUMBING RISER DIAGRAM, PLUMBING CONNECTION SCHEDULE
A-3	SECTIONS, DETAILS
A-4	LEFT ELEVATION, REAR ELEVATION, ROOF PLAN
A-5	SPECIFICATIONS

BY:	DATE:	REVISION/DESCRIPTION	ISSUED FOR PERMIT	NO.	1
DATE:	10/19/20				

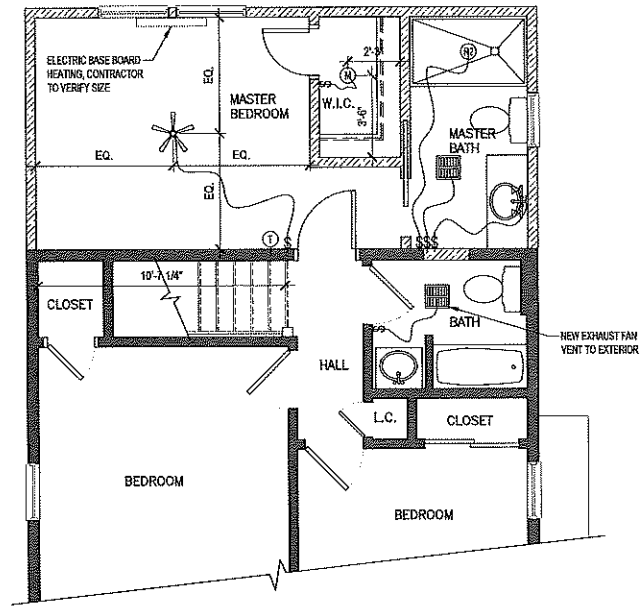
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Lic. No. 21350

PROJECT:
RENOVATION FOR
McCARTHY RESIDENCE
78 LAKE STREET

DRAWING: TITLE SHEET
DATE: 10/19/20
SCALE: AS NOTED
JOB NO: 20.094
SHEET:

T-1



① SECOND FLOOR POWER & LIGHTING PLAN

SCALE: 1/4" = 1'-0"

NOTE: CONFIRM BREAKER SIZES FOR HVAC EQUIP. W/ MANUFACTURE

GROUNDING ELECTRODE CONDUCTOR FOR AC SYSTEMS (FROM NEC TABLE 250-94)			
SIZE OF LARGEST SERVICE ENTRANCE CONDUCTOR OR EQUIVALENT AREA FOR PARALLEL CONDUCTORS		SIZE OF GROUNDING ELECTRODE CONDUCTORS	
COPPER	ALUMINUM OR COPPER CLAD ALUMINUM	COPPER	ALUMINUM OR COPPER CLAD ALUMINUM
2 OR SMALLER	1/0 OR SMALLER	8	6
1 OR 1/0	2/0 OR 3/0	6	4
2/0 OR 3/0	4/0 OR 250 kcmil	4	2
OVER 3/0 OR 350 kcmil	OVER 250 kcmil TO 500 kcmil	2	1/0
OVER 350 kcmil TO 600 kcmil	OVER 500 kcmil TO 900 kcmil	1/0	3/0
OVER 600 kcmil TO 1100 kcmil	OVER 900 kcmil TO 1750 kcmil	2/0	4/0
OVER 1100 kcmil	OVER 1750 kcmil	3/0	250 kcmil

MINIMUM SIZE GROUNDING CONDUCTORS FOR GROUNDING RACEWAYS AND EQUIPMENT (FROM NEC TABLE 250-95)		
RATING OR SETTING OF AUTOMATIC OVERCURRENT DEVICE IN CIRCUIT AHEAD OF EQUIPMENT, CONDUIT ETC., NOT EXCEEDING (AMPERES)	SIZE	ALUMINUM OR COPPER CLAD ALUMINUM WIRE NUMBER
15	14	12
20	12	10
30	10	8
40	10	8
60	10	8
100	8	6
200	6	4
300	4	2
400	3	1
500	2	1/0
600	1	2/0
800	1/0	3/0
1000	2/0	4/0
1200	3/0	250 kcmil
1600	4/0	350 kcmil
2000	250 kcmil	400 kcmil
2500	350 kcmil	600 kcmil
3000	400 kcmil	600 kcmil
4000	500 kcmil	800 kcmil
5000	700 kcmil	1200 kcmil
6000	800 kcmil	1200 kcmil

1) ADDITIONAL INFORMATION AND EXCEPTIONS ARE STATED IN ARTICLE 250-GROUNDING NATIONAL ELECTRIC CODE

WIRE GAUGE SIZE	WIRE SIZE AND AMP RATING				
	COPPER			ALUMINUM	
	60°C (140°F)	75°C (167°F)	90°C (194°F)	75°C (167°F)	90°C (194°F)
	THW-B	THW	THWN-2	THW	XHHW-2
	UF-B	THWN	THWN	THWN	THWN
	---	SE	XHHW-2	SE	THWN-2
	---	USE	---	USE	---
	---	XHHW	---	XHHW	---
14	15	15	15	---	---
12	20	20	20	15	15
10	30	30	30	25	25
8	40	50	55	40	45
6	55	65	75	50	60
4	70	85	95	65	75
3	85	100	110	75	85
2	95	115	130	90	100
1	---	130	150	100	115
1/0	---	150	170	120	135
2/0	---	175	195	135	150
3/0	---	200	225	155	175
4/0	---	230	260	180	205
250	---	255	290	205	230
300	---	285	320	230	255
350	---	310	350	250	280
500	---	380	430	310	350
600	---	420	475	340	385

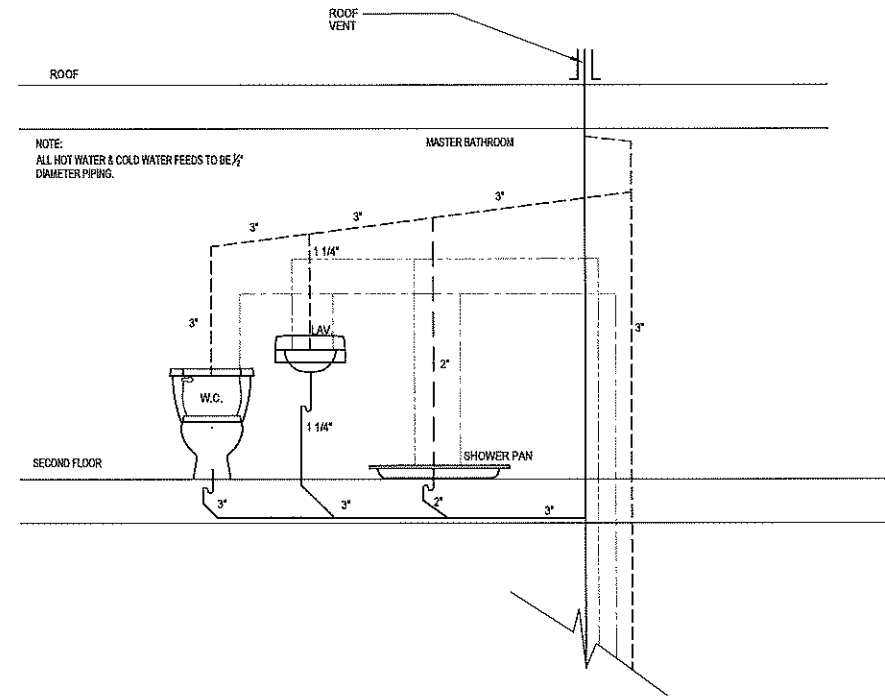
ELECTRICAL LEGEND

\$	WALL SWITCH WITH	①	SPECIALTY OUTLET	⑦	PENDANT LIGHT FIXTURE
\$	3-WAY LIGHT SWITCH	③	SMOKE DETECTOR (W/ BATTERY BACKUP TYP.)	⑧	EMERGENCY SWITCH FOR HVAC UNIT
⊖	DUPLEX RECEPTACLE WITH GFCI PROTECTION	④A	CARBON MONOXIDE DETECTOR	⊗	EXHAUST FAN SWITCHED WITH LIGHT FIXTURE; MIN. 100 CFM VENTILATION AIR, EXHAUST TO ROOF
⊖	QUADRUPLUX RECEPTACLE WITH GFCI PROTECTION	⑤D	SMOKE DETECTOR CARBON MONOXIDE DETECTOR COMBINATION	⚡	WALL MOUNTED LIGHT FIXTURE
⊖	DUPLEX RECEPTACLE WITH GFCI PROTECTION & RAIN CAP	⑥	HEAT DETECTOR WITH BATTERY BACKUP (TYP.)	⊞	EXHAUST FAN & LIGHT UNIT
⊖	QUADRUPLUX RECEPTACLE WITH GFCI PROTECTION & RAIN CAP	⑦	RECESSED HIGH HAT	⚙	CEILING FAN WITH LIGHT AND DIMMER CONTROL
⊖	QUADRUPLUX RECEPTACLE WITH GFCI PROTECTION & RAIN CAP	⑧	RECESSED HIGH HAT PENDANT, UL RATED FOR EXTERIOR USE/ WET AREAS	⌒	WALL MOUNTED LIGHTING FIXTURE (SCONCE)
⊖	DRYER OUTLET, COORDINATE REQUIREMENTS W/ DRYER MANUFACTURER	⑨	CEILING MOUNTED LIGHT FIXTURE	⊞	ELECTRICAL PANEL (NOT ON FIRE-RATED WALLS)
⊖	MANUAL ROOM THERMOSTAT				

NOTE: ALL DETECTORS (SMOKE, CARBON MONOXIDE, HEAT) TO BE HARDWIRED & INTERCONNECTED

③ ELECTRICAL SYMBOLS LEGEND

SCALE: N.T.S.



④ PLUMBING RISER DIAGRAM

SCALE: N.T.S.

PLUMBING FIXTURE CONNECTION SCHEDULE

FIXTURE TYPE	SAN.	VENT	CW	HW	REMARKS
LAVATORY	1 1/4"	1 1/4"	1/2"	1/2"	FOR EACH LAVATORY
WATER CLOSET	3"	3"	1/2"	-	1.8 GAL PER FLUSH
BATH TUB	1 1/2"	1 1/2"	1/2"	1/2"	
SHOWER	2"	2"	1/2"	1/2"	
KITCHEN SINK	1 1/2"	1 1/2"	1/2"	1/2"	
DISHWASHER	TO DW TEE @ SINK	-	-	1/2"	
REFRIGERATOR	-	-	1/2"	-	PROVIDE WATER SHUT OFF VALVE IN RECESSED WALL BOX BEHIND REFRIG.
CLOTHES WASHER	2" W/ INDIR. RECEPT.	2"	1/2"	1/2"	PROVIDE WATER SHUT OFF VALVES IN ACCESSIBLE LOCATION
FLOOR DRAIN	2"	2"	1/2"	-	PROVIDE TRAP PRIMER SEE DETAIL

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PROJECT:
RENOVATION FOR
McCarthy Residence
78 LAKE STREET

DRAWING: POWER
PLAN DETAILS

DRAWN:
kpm

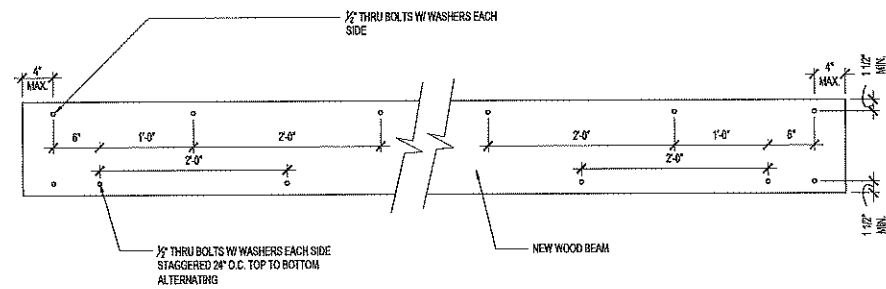
DATE:
10/19/20

SCALE:
AS NOTED

JOB NO:
20.094

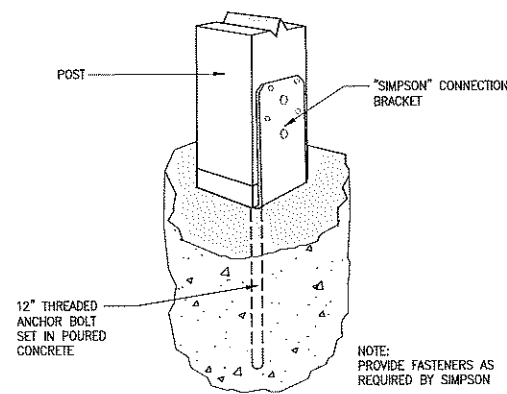
SHEET:

A-2



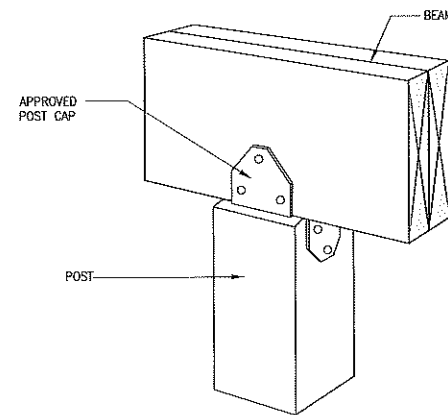
① BEAM BOLTING DETAIL

SCALE: N.T.S.



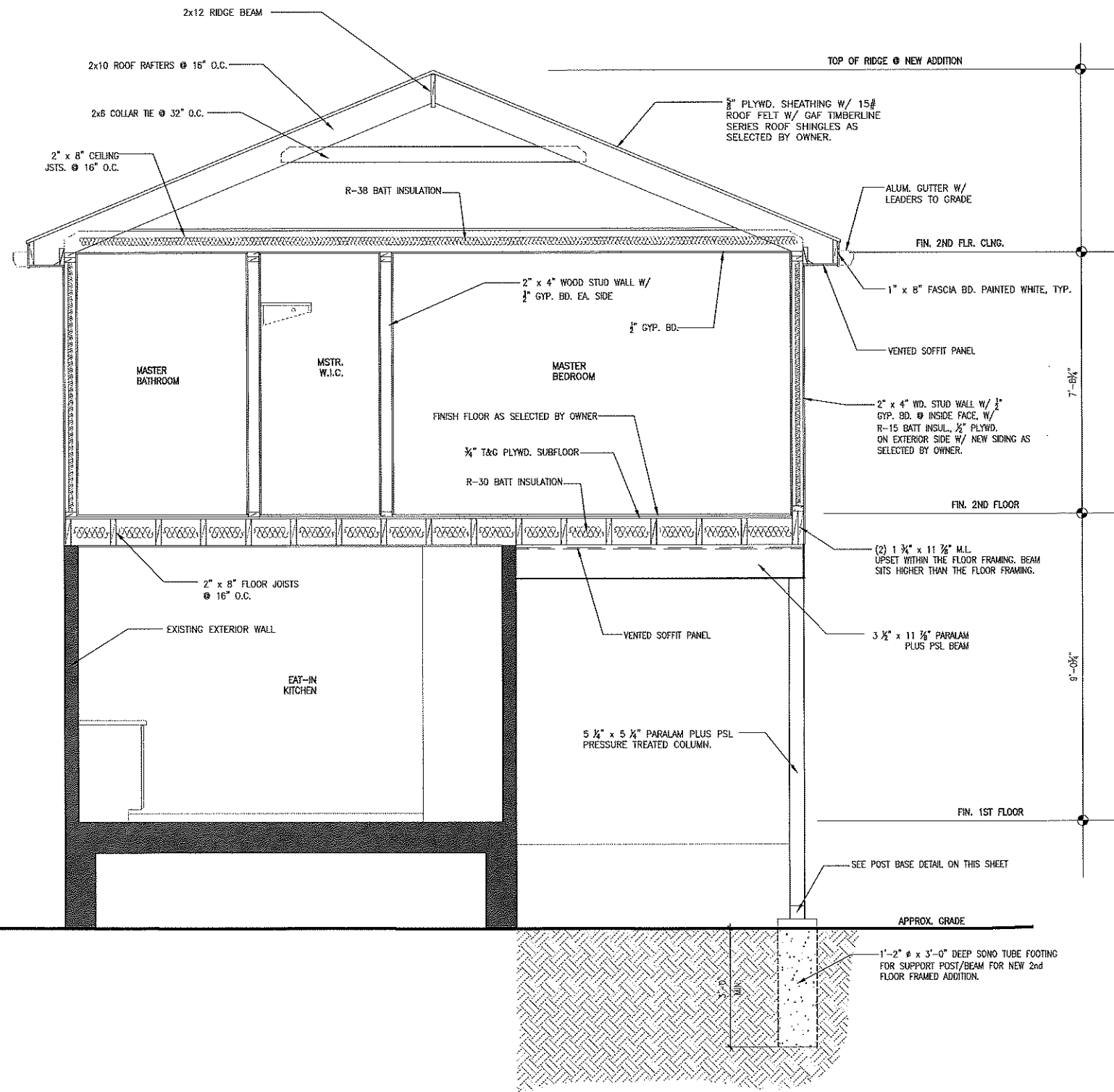
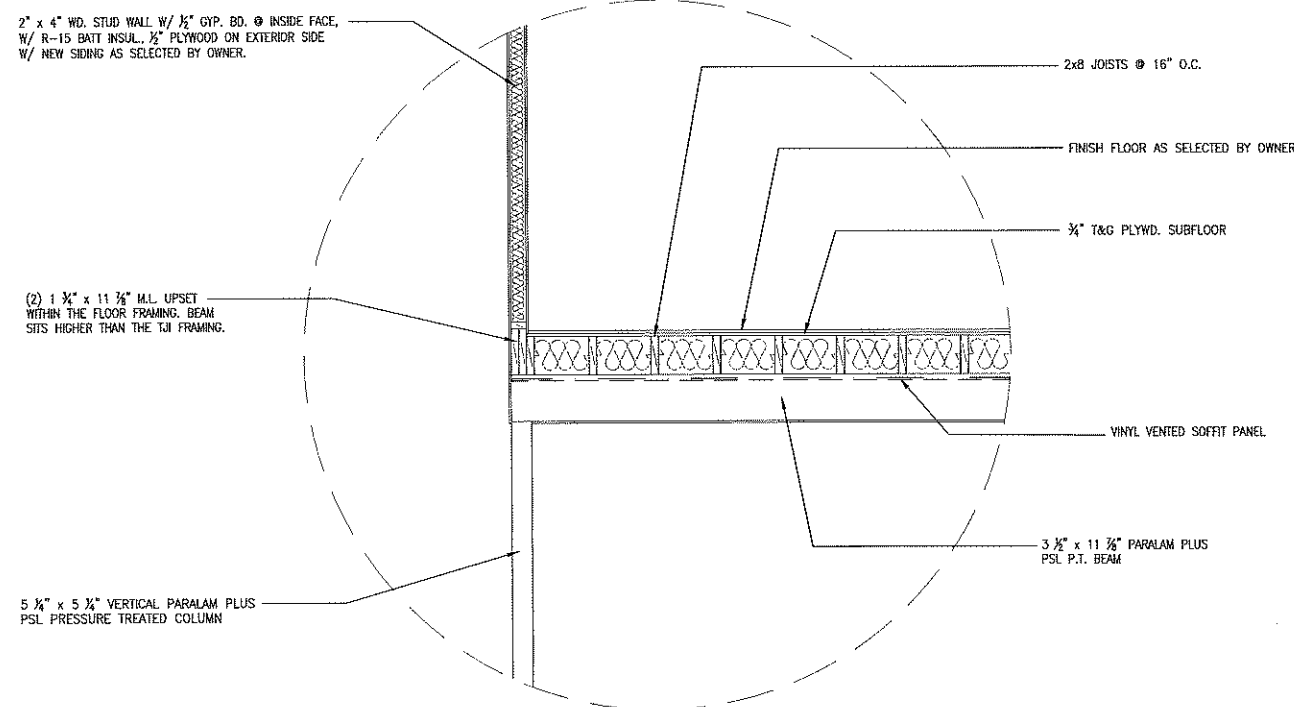
② POST BASE DETAIL

SCALE: N.T.S.



③ POST CAP DETAIL

SCALE: N.T.S.



DATE	BY	REVISION/DESCRIPTION
10/19/20	gmp	ISSUED FOR PERMIT
1		

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MASSACHUSETTS
Lic No. 31390

PROJECT:
RENOVATION FOR
McCARTHY RESIDENCE
78 LAKE STREET

DRAWING: SECTION

DRAWN: kpm

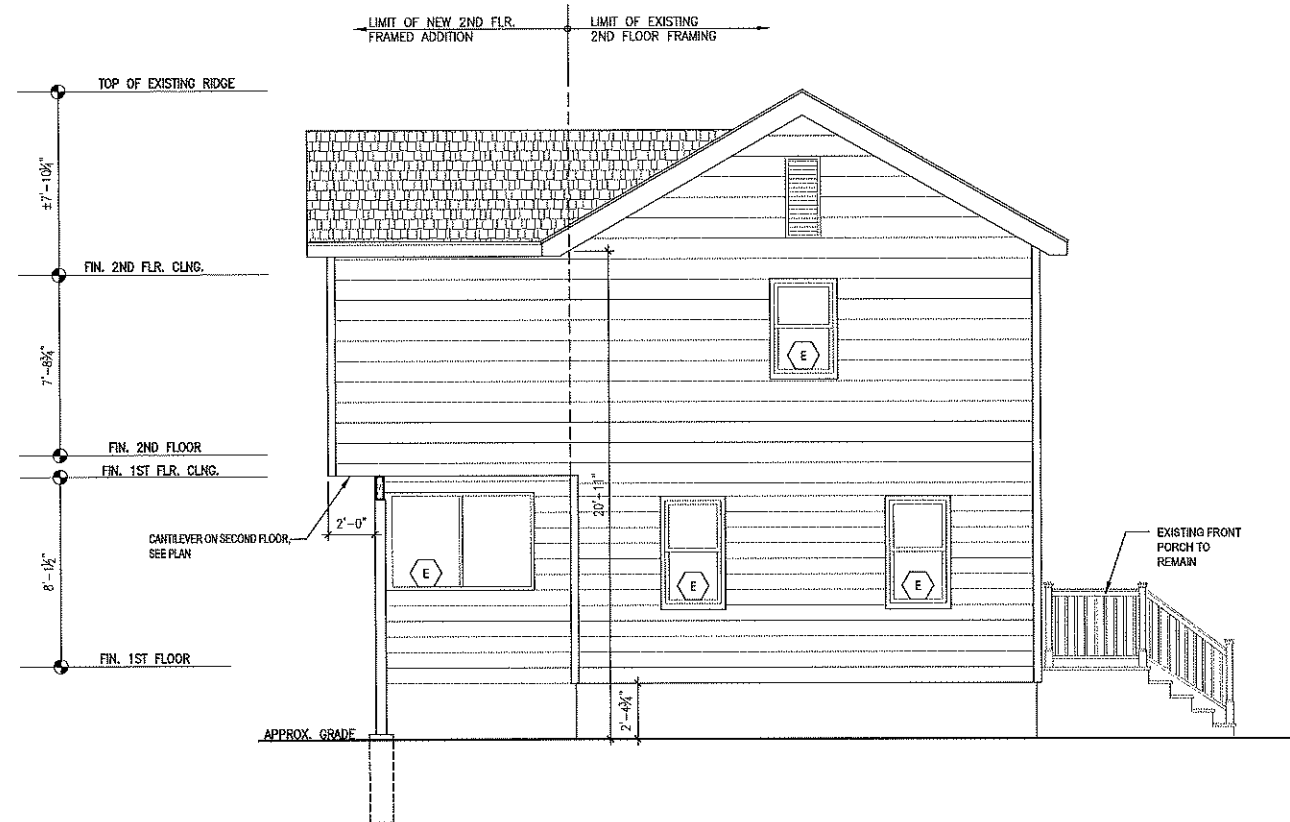
DATE: 10/19/20

SCALE: AS NOTED

JOB NO: 20.094

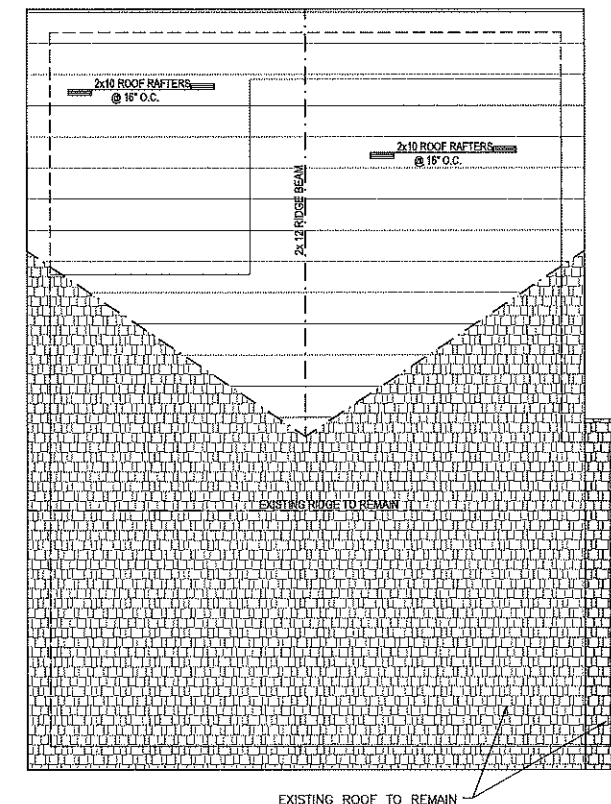
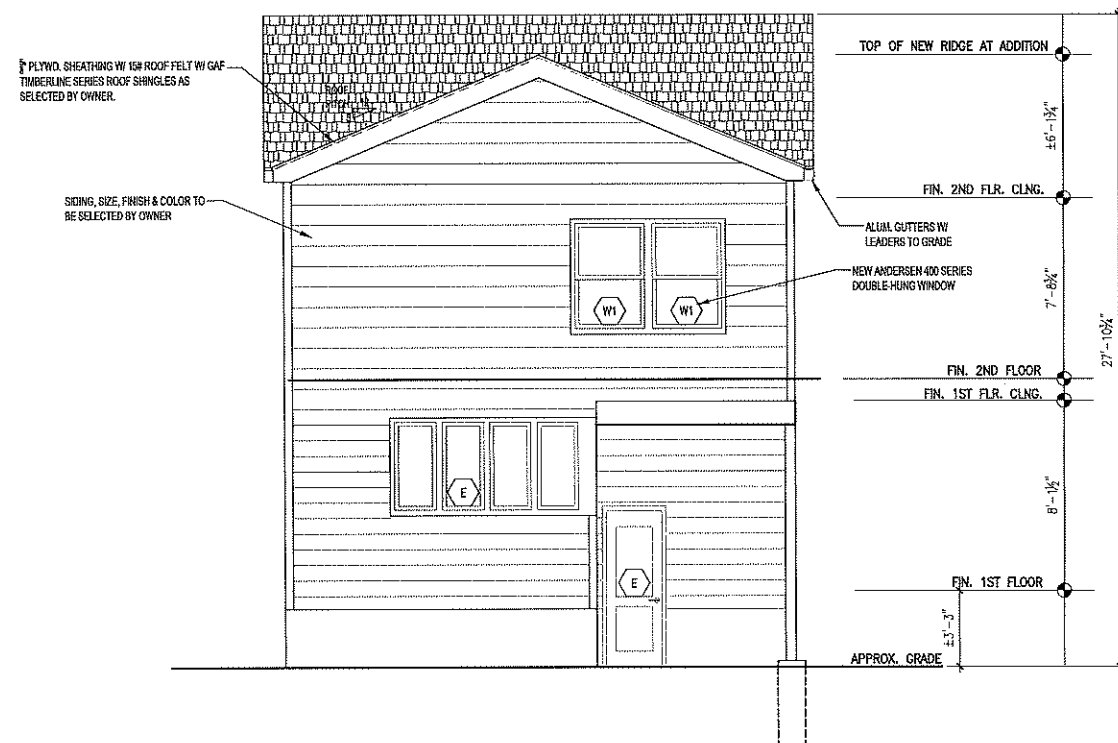
SHEET:

A-3



① LEFT ELEVATION

SCALE: 1/4" = 1'-0"



No.	REVISION/DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	10/19/20	hmp

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LIC. NO. 31380

PROJECT:
RENOVATION FOR
McCARTHY RESIDENCE
78 LAKE STREET

DRAWING: ELEVATION
ROOF PLAN
DRAWN: hmp
DATE: 10/19/20
SCALE: AS NOTED
JOB NO: 20.094
SHEET:

A-4

1.0 SPECIFICATIONS

A. These specifications are general in form. The owner/builder, in applying them assumes complete responsibility for their use, substitution, changes and omissions.
B. The contractor shall inspect the premises and view the existing conditions, sizes and quantities. Plans are furnished to indicate the scope of the intended contract work. Existing conditions which might preclude or interfere with the proposed work as drawn or specified shall be brought to the attention of the owner for resolving. Referection must be checked to verify their feasibility in accordance with the new requirements.
C. The contractor shall verify all dimensions prior to construction and shall report any discrepancies to the architect. Should unforeseen conditions or other causes necessitate construction details not in accordance with these plans, the contractor shall notify the architect and submit the details showing the proposed method to accomplish the required results. Work shall not proceed until approval by the architect has been obtained.
D. Written dimensions on the drawings shall have precedence over scaled dimensions. The contractor shall verify and be responsible for all dimensions and conditions indicated on these drawings.
E. The contractor shall be responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, distortions and misalignment according to applicable codes, standards and good practices.
F. The contractor shall have the building location staked out in the field by a licensed land surveyor before beginning construction.

1.1 Materials and Workmanship The contractor shall supply all materials, fixtures, appliances and labor necessary to complete all work noted on plans and as otherwise required. All materials shall be new and free from any defects. All work shall be performed in a competent workmanlike manner acceptable with modern practice.

1.2 Substitutions Substitutions for materials specified by name may be made if approved by the architect and owner. The owner shall decide if the equivalent material substitution is acceptable.

1.3 Clean-up All glass shall be washed, paint and putty stains removed after installation. Masonry surfaces shall be brushed and washed with diluted muriatic acid to remove mortar stains.

1.4 Site Plan The owner shall provide the contractor with a survey of the existing site conditions and proposed construction work to be performed. The contractor shall check all existing grades and conditions at the site and notify the owner of any discrepancy's.

1.5 Insurance - Owner to provide Builder's Risk. The contractor shall obtain and maintain for the duration of the project liability and property damage insurance and workman's compensation insurance in the amounts satisfactory to the owner. The contractor assumes full responsibility for the proper conduct of this building operation and the owner shall be free from all liabilities as a result of any accidents or damages that may occur. Contractor to provide Worker's Comp. and Liability.

1.6 Permits All permits shall be obtained by the contractor or his sub-contractors. The certificate of occupancy shall be obtained by the contractor, but the owner shall furnish the required engineers survey showing the location of the building.

1.7 Temporary Heat, Water and Electricity The contractor shall make arrangements for the installation of temporary heat, water and electrical service in order that building operations may be carried out. The contractor shall pay for all water and electricity consumed and also pay for all charges in connection with such temporary services.

1.8 Protection The contractor shall comply with all local and state laws and regulations regarding protection of work, property and labor, insofar as these laws and regulations are applicable to the work. The contractor shall at all times provide protection against weather, rain, wind, storms, heat or frost, so as to maintain all work, materials, apparatus and fixtures free from injury or damage. The contractor shall also provide protection, cleaning, trees or shrubs that are to remain. The contractor shall confine himself to the premises and to limits imposed by law as to storage of materials, equipment tools extra. The premises and the sidewalk and street shall be kept free and clear of rubbish at all times.

2.0 SITE WORK

2.1 Demolition
A. Demolish and remove portions of existing trees, staps, fences, buildings, walls, utilities and any surrounding obstructions including oil equipment, fixtures, extra, as shown on plans and/or as required by new construction.
B. Make all work safe as per rules and regulations of authorities having jurisdiction over utilities and insure continued operation and protection of existing pipes, lines, traffic, etc.
C. Take full precaution to protect workmen, passersby or other persons from falling debris and other hazards of operation.

2.2 Site work
A. Establish topsoil depth and strip (and stockpile) all topsoil in areas to be disturbed.
B. Rough grading shall be to 6" below finish grades as indicated on the drawings, and provide positive (pitch) away from the building.
C. New driveways and parking areas shall conform to the requirements of local codes as to grading, base preparation and installation, and topping specifications.
D. Connect leaders and footing drains separately to the drainage system with 4" diameter "Orangeburg" pipe (perforated type for footings only) or as directed by owner's engineer.
E. In the event of required blasting, contractor shall supply the owner with unit costs for blasting and or rock hammering. All blasting shall be done in accordance with the local, state and federal regulations.
F. Contractor to notify all public agencies of impending site work as required by code and utility companies.
G. Contractor to clearly mark and identify all underground utility lines, pipes, cable and conduits.
H. Contractor to employ engineer to verify locations and provide clear markings of property lines, setback lines, easements and right of ways.
I. Landscaping, seeding and planting to be the responsibility of the owner. J. Underground sprinkler system supplied by the owner. Contractor to coordinate with plumber. (If applicable to project)

2.3 Excavation
A. Excavate all earth, boulders, loose and soft rock as shown on plans. All footings shall bear on solid undisturbed earth. Earth shall be capable of supporting 2 1/2 tons per square foot.
B. Excavation shall be sufficient so that the base of the site and the area immediately surrounding the site and affected operations will be continuously and effectively drained, water shall be drained by pumping or other satisfactory methods to prevent softening of the foundation base, undercutting of footing, or other actions detrimental to proper construction procedures.
C. Trenching for underground utilities and drain lines shall be excavated to the required alignments and depths. The bottoms of trenches shall be graded to secure the required slope and shall be tamped if necessary to provide a firm pipe bed.
D. The contractor shall verify the existence and location of all underground utilities. All existing utilities shall be marked, identified and protected from damage during construction.

2.6 Finish Grading Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

2.7 Driveway

3.0 CONCRETE WORK

3.1 Footings and Slab Notes
A. Footings shall bear on undisturbed soil and/or supervised compacted fill, free of frost, having a minimum allowable bearing capacity (see chart below). Elevations shown on plans are for estimating and are subject to revisions when the true conditions are revealed by excavation. The contractor is to notify the architect of any doubtful conditions.
B. All fill shall be compacted in 8 to 10 inch layers to not less than 95%XX of the maximum density when tested in accordance with ASTM D1557.
C. Soil under footings shall be protected from freezing.
D. Bottoms of all exterior footings shall be at least 5 feet below finished grade. No footings to be poured E. Changes of level of footings must be kept within the safe angle of repose of the soil(one vertical to two horizontal).
F. Where footings bear on rock, the rock shall be first leveled to the underside of the footings and doweled at 3'-0" o.c. and shall be drilled and grouted into the rock, in a manner acceptable to the architect and building inspector.
G. Provide 4 inches porous fill under all concrete slabs on earth.
H. Contractor shall adequately protect walls, piers, etc., from damage due to backfilling.
I. Contractor must prevent the foundation from being put in jeopardy by the excavations for utilities, etc..
J. Where pipes pass through new walls, drop footings so that pipes pass over the top of the footings.
K. Concrete floors shall have smooth hard steel trowel finish.
L. Provide 6X6 - 10/10 welded wire fabric in all concrete slabs on grade.
M. All concrete shall be 2500 p.s.i., stone aggregate ready mix for footings and 3,000 p.s.i. for labs, after 28 days. All garage floor slabs shall be 4" thick 3500 p.s.i. concrete with 1/8 inch per foot pitch to the exterior garage door.
N. All concrete footings shall be as noted on plans, provide a 2" x 4" key way in all footings.

Table 1804.2 Allowable Foundation and Lateral Pressure	
Class of Material	Allowable Foundation Pressure (psf)
• Crystalline bedrock	12,000
• Sedimentary and Foliated Rock	4,000
• Sandy gravel and/or Gravel (GW and GP)	3,000
• Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW,SP,SM,SC,GM, and GC)	2,000
• Clay, sandy clay, silty clay, clay silt, silt and sandy silt (CL,ML,MH and CH)	1,500

4.0 MASONRY

4.1 Foundation Walls and Masonry
A. Lay all masonry in running bond.
B. Construct exterior foundation of 10" and 12" concrete block with bottom course filled solid. Masonry block shall be hollow load bearing units, conforming to ASTM C-90 grade N.I. They shall be laid level, plumb and straight in a full bed of mortar.
C. Block shall have a minimum compressive strength on the gross area of 1,000 p.s.i.. Where block wall decreases in thickness, the top course of thicker wall shall be solid masonry of concrete filled block.
Mortar for block in contact shall be type "M".
D. Damp-proof hollow block basement walls with 1/2 inch coat of Portland cement parping applied to exterior from cove to cap and apply one coat of bituminous damp-proofing over parged concrete.
E. Brick shall conform to ASTM C216, metal tees for stone veneer shall be 22 ga. Gal. corrugated steel, noted in plan.
F. Brick veneer shall be spaced 16" o.c. vertical and 32" o.c. horizontal and nailed to wood studs. Brick veneer shall not exceed 25' in height.
F. Not used
G. Provide the following lintels (steel angle at 36k allowable) over all openings and recesses in masonry walls for each 4" thickness of masonry provide one angle as follows: MASONRY OPENINGS: 0'-0" to 4'-0" 4" x 3 1/2" x 5/16" 4'-0" to 8'-0" 8" x 3 1/2" x 5/16" 8'-0" to 10'-0" 8" x 3 1/2" x 5/16" 10'-0" to 12'-0" 8" x 3 1/2" x 5/16" 12'-0" to 14'-0" 8" x 3 1/2" x 5/16" 14'-0" to 16'-0" 8" x 3 1/2" x 5/16" 16'-0" to 18'-0" 8" x 3 1/2" x 5/16" 18'-0" to 20'-0" 8" x 3 1/2" x 5/16" 20'-0" to 22'-0" 8" x 3 1/2" x 5/16" 22'-0" to 24'-0" 8" x 3 1/2" x 5/16" 24'-0" to 26'-0" 8" x 3 1/2" x 5/16" 26'-0" to 28'-0" 8" x 3 1/2" x 5/16" 28'-0" to 30'-0" 8" x 3 1/2" x 5/16" 30'-0" to 32'-0" 8" x 3 1/2" x 5/16" 32'-0" to 34'-0" 8" x 3 1/2" x 5/16" 34'-0" to 36'-0" 8" x 3 1/2" x 5/16" 36'-0" to 38'-0" 8" x 3 1/2" x 5/16" 38'-0" to 40'-0" 8" x 3 1/2" x 5/16" 40'-0" to 42'-0" 8" x 3 1/2" x 5/16" 42'-0" to 44'-0" 8" x 3 1/2" x 5/16" 44'-0" to 46'-0" 8" x 3 1/2" x 5/16" 46'-0" to 48'-0" 8" x 3 1/2" x 5/16" 48'-0" to 50'-0" 8" x 3 1/2" x 5/16" 50'-0" to 52'-0" 8" x 3 1/2" x 5/16" 52'-0" to 54'-0" 8" x 3 1/2" x 5/16" 54'-0" to 56'-0" 8" x 3 1/2" x 5/16" 56'-0" to 58'-0" 8" x 3 1/2" x 5/16" 58'-0" to 60'-0" 8" x 3 1/2" x 5/16" 60'-0" to 62'-0" 8" x 3 1/2" x 5/16" 62'-0" to 64'-0" 8" x 3 1/2" x 5/16" 64'-0" to 66'-0" 8" x 3 1/2" x 5/16" 66'-0" to 68'-0" 8" x 3 1/2" x 5/16" 68'-0" to 70'-0" 8" x 3 1/2" x 5/16" 70'-0" to 72'-0" 8" x 3 1/2" x 5/16" 72'-0" to 74'-0" 8" x 3 1/2" x 5/16" 74'-0" to 76'-0" 8" x 3 1/2" x 5/16" 76'-0" to 78'-0" 8" x 3 1/2" x 5/16" 78'-0" to 80'-0" 8" x 3 1/2" x 5/16" 80'-0" to 82'-0" 8" x 3 1/2" x 5/16" 82'-0" to 84'-0" 8" x 3 1/2" x 5/16" 84'-0" to 86'-0" 8" x 3 1/2" x 5/16" 86'-0" to 88'-0" 8" x 3 1/2" x 5/16" 88'-0" to 90'-0" 8" x 3 1/2" x 5/16" 90'-0" to 92'-0" 8" x 3 1/2" x 5/16" 92'-0" to 94'-0" 8" x 3 1/2" x 5/16" 94'-0" to 96'-0" 8" x 3 1/2" x 5/16" 96'-0" to 98'-0" 8" x 3 1/2" x 5/16" 98'-0" to 100'-0" 8" x 3 1/2" x 5/16" 100'-0" to 102'-0" 8" x 3 1/2" x 5/16" 102'-0" to 104'-0" 8" x 3 1/2" x 5/16" 104'-0" to 106'-0" 8" x 3 1/2" x 5/16" 106'-0" to 108'-0" 8" x 3 1/2" x 5/16" 108'-0" to 110'-0" 8" x 3 1/2" x 5/16" 110'-0" to 112'-0" 8" x 3 1/2" x 5/16" 112'-0" to 114'-0" 8" x 3 1/2" x 5/16" 114'-0" to 116'-0" 8" x 3 1/2" x 5/16" 116'-0" to 118'-0" 8" x 3 1/2" x 5/16" 118'-0" to 120'-0" 8" x 3 1/2" x 5/16" 120'-0" to 122'-0" 8" x 3 1/2" x 5/16" 122'-0" to 124'-0" 8" x 3 1/2" x 5/16" 124'-0" to 126'-0" 8" x 3 1/2" x 5/16" 126'-0" to 128'-0" 8" x 3 1/2" x 5/16" 128'-0" to 130'-0" 8" x 3 1/2" x 5/16" 130'-0" to 132'-0" 8" x 3 1/2" x 5/16" 132'-0" to 134'-0" 8" x 3 1/2" x 5/16" 134'-0" to 136'-0" 8" x 3 1/2" x 5/16" 136'-0" to 138'-0" 8" x 3 1/2" x 5/16" 138'-0" to 140'-0" 8" x 3 1/2" x 5/16" 140'-0" to 142'-0" 8" x 3 1/2" x 5/16" 142'-0" to 144'-0" 8" x 3 1/2" x 5/16" 144'-0" to 146'-0" 8" x 3 1/2" x 5/16" 146'-0" to 148'-0" 8" x 3 1/2" x 5/16" 148'-0" to 150'-0" 8" x 3 1/2" x 5/16" 150'-0" to 152'-0" 8" x 3 1/2" x 5/16" 152'-0" to 154'-0" 8" x 3 1/2" x 5/16" 154'-0" to 156'-0" 8" x 3 1/2" x 5/16" 156'-0" to 158'-0" 8" x 3 1/2" x 5/16" 158'-0" to 160'-0" 8" x 3 1/2" x 5/16" 160'-0" to 162'-0" 8" x 3 1/2" x 5/16" 162'-0" to 164'-0" 8" x 3 1/2" x 5/16" 164'-0" to 166'-0" 8" x 3 1/2" x 5/16" 166'-0" to 168'-0" 8" x 3 1/2" x 5/16" 168'-0" to 170'-0" 8" x 3 1/2" x 5/16" 170'-0" to 172'-0" 8" x 3 1/2" x 5/16" 172'-0" to 174'-0" 8" x 3 1/2" x 5/16" 174'-0" to 176'-0" 8" x 3 1/2" x 5/16" 176'-0" to 178'-0" 8" x 3 1/2" x 5/16" 178'-0" to 180'-0" 8" x 3 1/2" x 5/16" 180'-0" to 182'-0" 8" x 3 1/2" x 5/16" 182'-0" to 184'-0" 8" x 3 1/2" x 5/16" 184'-0" to 186'-0" 8" x 3 1/2" x 5/16" 186'-0" to 188'-0" 8" x 3 1/2" x 5/16" 188'-0" to 190'-0" 8" x 3 1/2" x 5/16" 190'-0" to 192'-0" 8" x 3 1/2" x 5/16" 192'-0" to 194'-0" 8" x 3 1/2" x 5/16" 194'-0" to 196'-0" 8" x 3 1/2" x 5/16" 196'-0" to 198'-0" 8" x 3 1/2" x 5/16" 198'-0" to 200'-0" 8" x 3 1/2" x 5/16" 200'-0" to 202'-0" 8" x 3 1/2" x 5/16" 202'-0" to 204'-0" 8" x 3 1/2" x 5/16" 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1/2" x 5/16" 256'-0" to 258'-0" 8" x 3 1/2" x 5/16" 258'-0" to 260'-0" 8" x 3 1/2" x 5/16" 260'-0" to 262'-0" 8" x 3 1/2" x 5/16" 262'-0" to 264'-0" 8" x 3 1/2" x 5/16" 264'-0" to 266'-0" 8" x 3 1/2" x 5/16" 266'-0" to 268'-0" 8" x 3 1/2" x 5/16" 268'-0" to 270'-0" 8" x 3 1/2" x 5/16" 270'-0" to 272'-0" 8" x 3 1/2" x 5/16" 272'-0" to 274'-0" 8" x 3 1/2" x 5/16" 274'-0" to 276'-0" 8" x 3 1/2" x 5/16" 276'-0" to 278'-0" 8" x 3 1/2" x 5/16" 278'-0" to 280'-0" 8" x 3 1/2" x 5/16" 280'-0" to 282'-0" 8" x 3 1/2" x 5/16" 282'-0" to 284'-0" 8" x 3 1/2" x 5/16" 284'-0" to 286'-0" 8" x 3 1/2" x 5/16" 286'-0" to 288'-0" 8" x 3 1/2" x 5/16" 288'-0" to 290'-0" 8" x 3 1/2" x 5/16" 290'-0" to 292'-0" 8" x 3 1/2" x 5/16" 292'-0" to 294'-0" 8" x 3 1/2" x 5/16" 294'-0" to 296'-0" 8" x 3 1/2" x 5/16" 296'-0" to 298'-0" 8" x 3 1/2" x 5/16" 298'-0" to 300'-0" 8" x 3 1/2" x 5/16" 300'-0" to 302'-0" 8" x 3 1/2" x 5/16" 302'-0" to 304'-0" 8" x 3 1/2" x 5/16" 304'-0" to 306'-0" 8" x 3 1/2" x 5/16" 306'-0" to 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1/2" x 5/16" 514'-0" to 516'-0" 516'-0" to 518'-0" 8" x 3 1/2" x 5/16" 518'-0" to 520'-0" 8" x 3 1/2" x 5/16" 520'-0" to 522'-0" 8" x 3 1/2" x 5/16" 522'-0" to 524'-0" 8" x 3 1/2" x 5/16" 524'-0" to 526'-0" 8" x 3 1/2" x 5/16" 526'-0" to 528'-0" 8" x 3 1/2" x 5/16" 528'-0" to 530'-0" 8" x 3 1/2" x 5/16" 530'-0" to 532'-0" 8" x 3 1/2" x 5/16" 532'-0" to 534'-0" 8" x 3 1/2" x 5/16" 534'-0" to 536'-0" 8" x 3 1/2" x 5/16" 536'-0" to 538'-0" 8" x 3 1/2" x 5/16" 538'-0" to 540'-0" 8" x 3 1/2" x 5/16" 540'-0" to 542'-0" 8" x 3 1/2" x 5/16" 542'-0" to 544'-0" 8" x 3 1/2" x 5/16" 544'-0" to 546'-0" 8" x 3 1/2" x 5/16" 546'-0" to 548'-0" 8" x 3 1/2" x 5/16" 548'-0" to 550'-0" 8" x 3 1/2" x 5/16" 550'-0" to 552'-0" 8" x 3 1/2" x 5/16" 552'-0" to 554'-0" 8" x 3 1/2" x 5/16" 554'-0" to 556'-0" 8" x 3 1/2" x 5/16" 556'-0" to 558'-0" 8" x 3 1/2" x 5/16" 558'-0" to 560'-0" 8" x 3 1/2" x 5/16" 560'-0" to 562'-0" 8" x 3 1/2" x 5/16" 562'-0" to 564'-0" 8" x 3 1/2" x 5/16" 564'-0" to 566'-0" 8" x 3 1/2" x 5/16" 566'-0" to 568'-0" 8" x 3 1/2" x 5/16" 568'-0" to 570'-0" 8" x 3 1/2" x

1
FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME MR & MRS. SAMUEL MOER
ADDRESS 40 LAUREL CT. BERGENFIELD NJ
OWNER'S NAME SAME
OWNER'S ADDRESS _____ PHONE # 917 767 5017

FED I.D.# or S 5212-21-8762

Applicant will be represented at public hearing by OWNER

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the
requirements of Section(s) _____ and/or from the
requirements of the Scheduled Limiting Bulk of Buildings of
the Zoning Ordinance in accordance with plans and
specifications attached hereto and/or decision of Zoning
Officer. The location of this property is at
NUMBER: 40 LAUREL CT.

DESIGNATED AS Block(s) 326 and Lot(s) 18
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE _____ FRONT YARD _____ REAR YARD _____ SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____

THE REASON FOR DESIRED VARIANCE/APPEAL

ADDITION NEEDED FOR INCREASED

FAMILY NEEDS

DESCRIPTION OF PROPERTY

1. SIZE OF LOT IRREGULAR 2. SQUARE FEET IN LOT 9051
 3. SIZE OF PRESENT BUILDINGS IRREGULAR 4. STORIES 2 1/2
 5. TOTAL AREA 2119 SQ. FT. 6. NUMBER OF ROOMS 7
 7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 22.3%
 8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY ONE
FAMILY RESIDENCE
 9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES
 NO / (If yes, provide a copy of same)
 10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY
RESIDENTIAL - ONE FAMILY
 11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
 PREMISES? YES NO / IF SO, DATE FILED DISPOSITION
 12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
 ORDINANCE? YES NO / (IF SO, EXPLAIN)
LOT COVERAGE
 13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
 YES NO /
 14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
 YES NO /
 15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
 MUNICIPALITY? YES NO /

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO ✓
17. SIZE OF NEW ADDITION 14'-0" x 9'-9" SQ. FT.
18. SIZE OF NEW BUILDINGS _____ x _____ SQ. FT.
1455F AREA 16'-6" HEIGHT + 769SF ADDED OVER
EXISTING FIRST FLOOR
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
24.2 %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 1/7

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

By order of the Board of Adjustment of Bergenfield

AFFIDAVIT BOARD OF ADJUSTMENT

OF THE

BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY

COUNTY OF BERGEN

BOROUGH OF BERGENFIELD

SS:

SAMUEL MOER

Name of Applicant

SAMUEL MOER being dully sworn deposes
and says; that he reside at number 40 LAUREL CT in the state of
NEW JERSEY, and says that he is the appellant making appeal
for a variation/appeal of the provisions of the Provisions of the Zoning
Ordinance of the of the Borough of Bergenfield in connection with the
property which is the subject matter of this appeal and known as
number 40 LAUREL CT designated as Block 326 and Lot 18 on
the Assessment Map of the Borough of Bergenfield. That all statements
made in this application, and statements made in the plans submitted
herewith are true. The applicant further states that he is ready and able
to proceed with the construction if and when the application is granted.

Sworn to me this- 9th

day of November 2020

Ronit Sharon Hagler
Notary Public

Samuel Moer
Applicant

Note: All partnerships and corporations must supply a list of stockholder with
a 10% or greater share, they must also be represented by an Attorney at the hearing.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

SAMUEL MOER of full age, dully sworn according to the law, deposes and says that he resides at 40 LAUREL CT in the Borough of BERGENFIELD in the county of BERGEN in the State of NEW JERSEY that he is the owner in fee of real property lying in the Borough of Bergenfield, known and designated as number 40 LAUREL CT and the he hereby authorizes ALBERT ZACCONE to make the within application in his behalf and that the statements in the said application are true.

Sworn to before me this 9th

Day of November 20 20

Sammy Zaccone
Owner

Ronit Hagler
Public Notary

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.

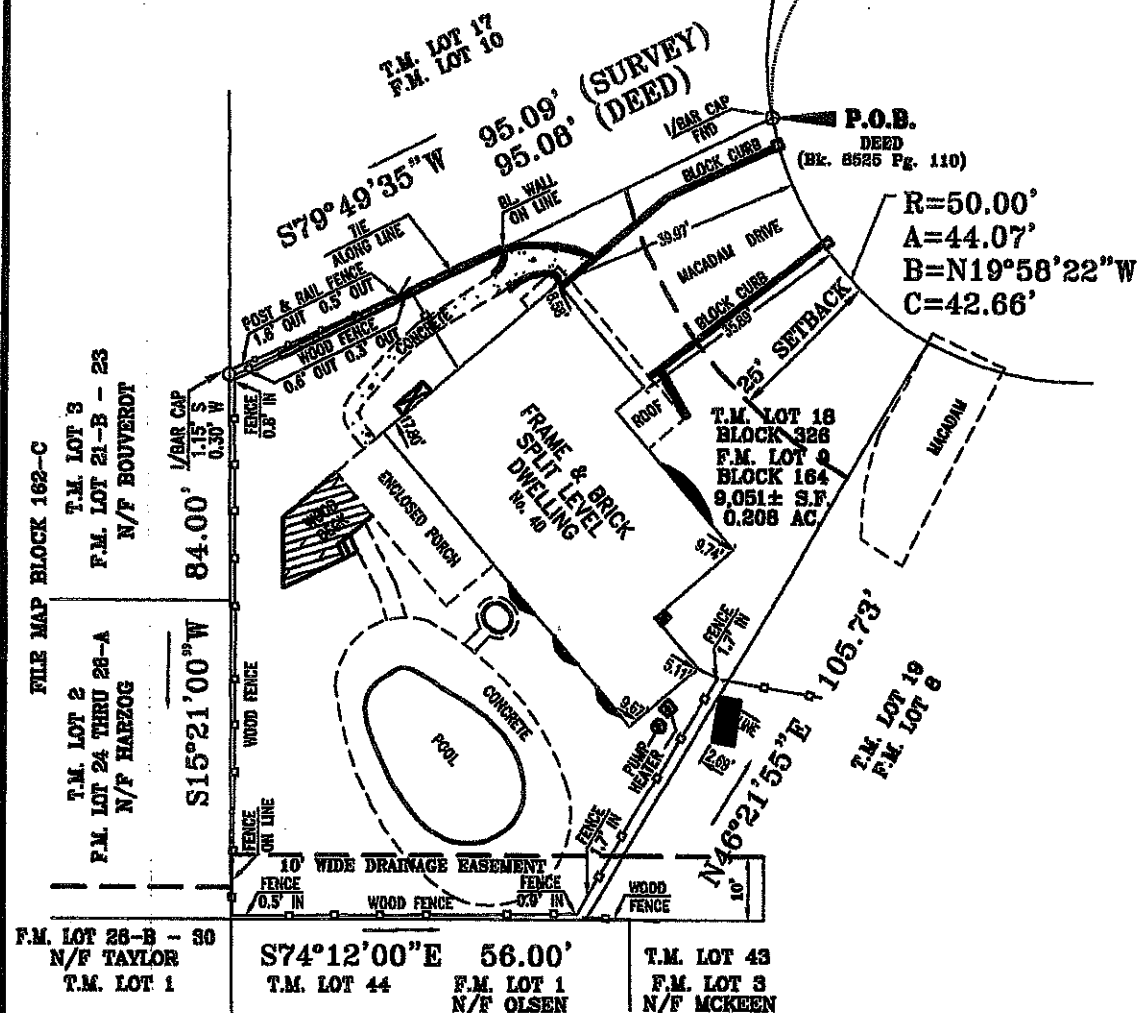
Job No. 203-135

60' R.O.W.

- SAMUEL MOER & SHIRA MOER
- GFI MORTGAGE, INC., ITS SUCCESSORS
AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR
- UNLANTED ABSTRACT, LLC, (TITLE No. 137850)
- COMMONWEALTH LAND TITLE INSURANCE COMPANY
- AARON LEFKOWITZ, ESQ.

**LAUREL
COURT
50' R.O.W.**

FILE MAP
No. 6191



NOTES:

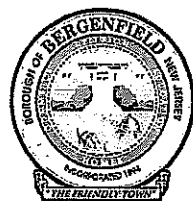
1. THIS SURVEY IS FORWARDED SOLELY FOR THE INFORMATION OF THE TITLE AND FOR CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE FOR ANY ABUSEMENT OF THE SURVEY TO ANY PERSON NOT SO NAMED.
2. SUBJECT TO SUCH STATE OF FACT THAT AN ACCURATE TITLE SEARCH MAY ENCLOSE.
3. SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD.
4. UNDERSIGNED UTILITIES ARE NOT DEPICTED, THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. REFERENCE TO THE APPROPRIATE UTILITY AUTHORITY SHOULD BE MADE TO VERIFY THE PRESENCE OR EXISTENCE OF SAME.
5. DEED REFERENCE BOOK: SEE PAGE 110, FILED IN THE BROWN COUNTY CLERK'S OFFICE.
6. A WRITTEN WAIVER AND DECLARATION NOT TO SUE COMMON MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO F.L. 2003, C. 14 (I.A.C. 464-30.5) AND (I.A.C. 15-44-3.0)(1).

JAMES P. DEADY SURVEYOR, LLC
PROFESSIONAL LAND SURVEYING SERVICES
www.jpsurveying.com 296 ROUTE 23 EAST
 (800) 834-8145 ONE SALEM SQUARE
 (800) 834-8147 FAX SUITE 202 WEST
 WINTERBURN STATION, NJ 08060

**SURVEY
of
TAX LOT 18-BLOCK 326
LOCATED IN THE
BOROUGH OF BERGENFIELD
BERGEN COUNTY, NEW JERSEY**

REVISIONS	DATE	Scale 1"=30'
		Date 08-07-13
		Drawn By T.A.
		Check'd By J.C.R.
		FILE# 203-135-1
		MC 318 PG 08

BY: John C. Ritt N.J.P.L.S., Llc. No. 24GS04324100
Certificate No. 24GA28199000



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.

(201) 387-4055 EXT. 1-4092

FAX: (201) 385-7376

August 7, 2020

Samuel Moer
40 Laurel Court
Bergenfield, NJ 07621

RE: Addition/Alteration

Dear Mrs. Moer,

Your application for an addition/alteration has been denied for the following reason:

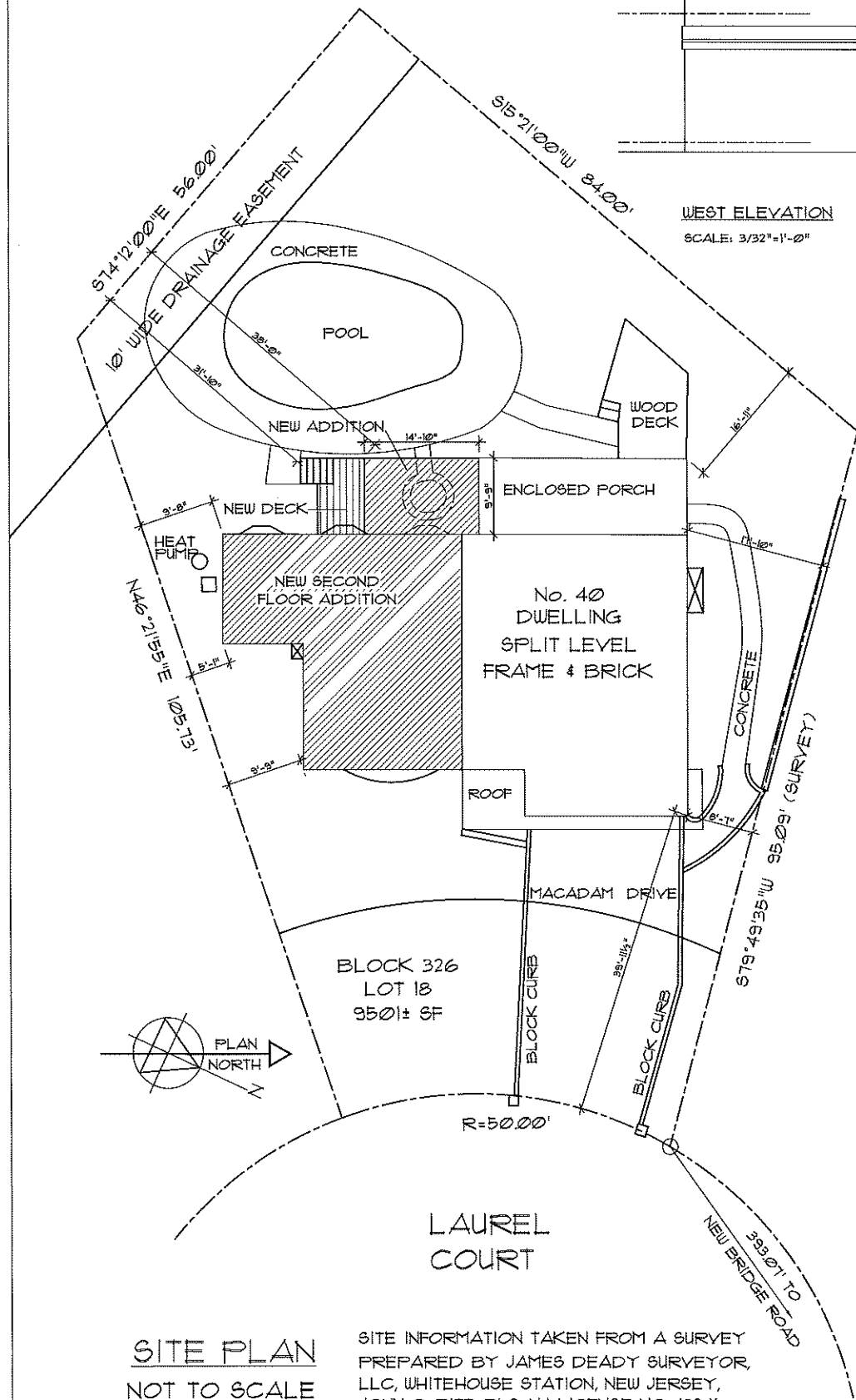
1. Exceed total improved lot coverage of 35% or 3,325.35 sq. feet required. Proposed 49.3% or 4,684 sq. feet.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

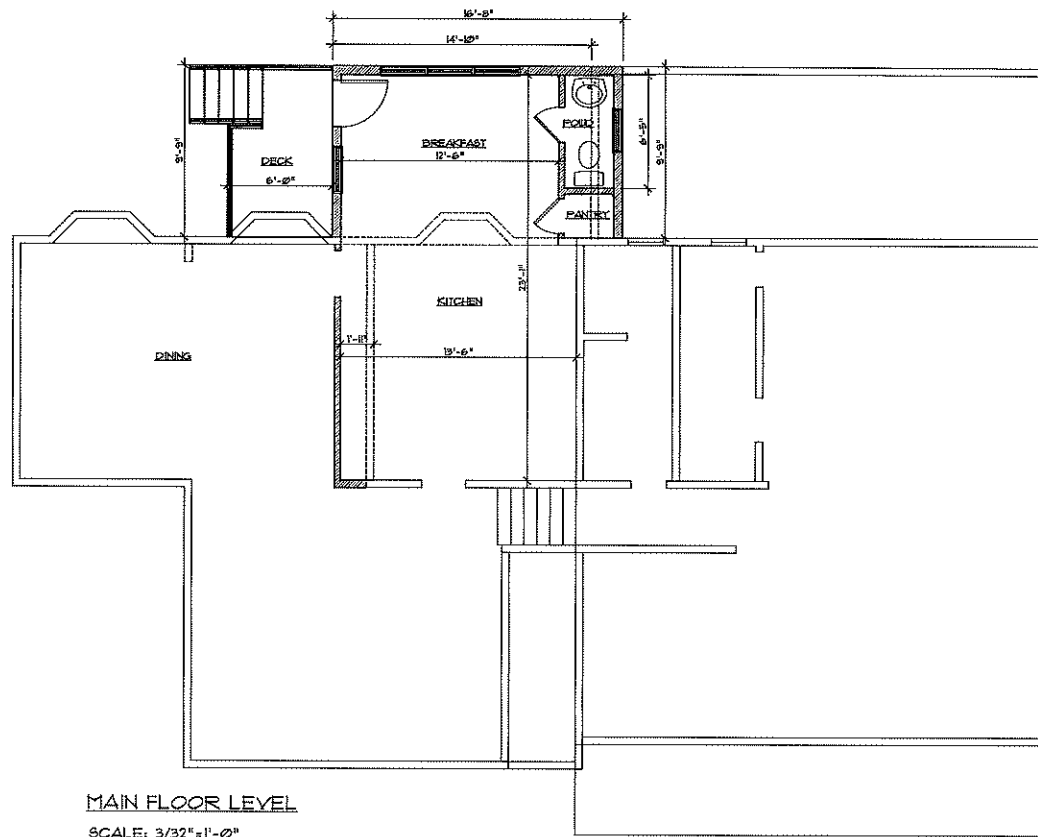
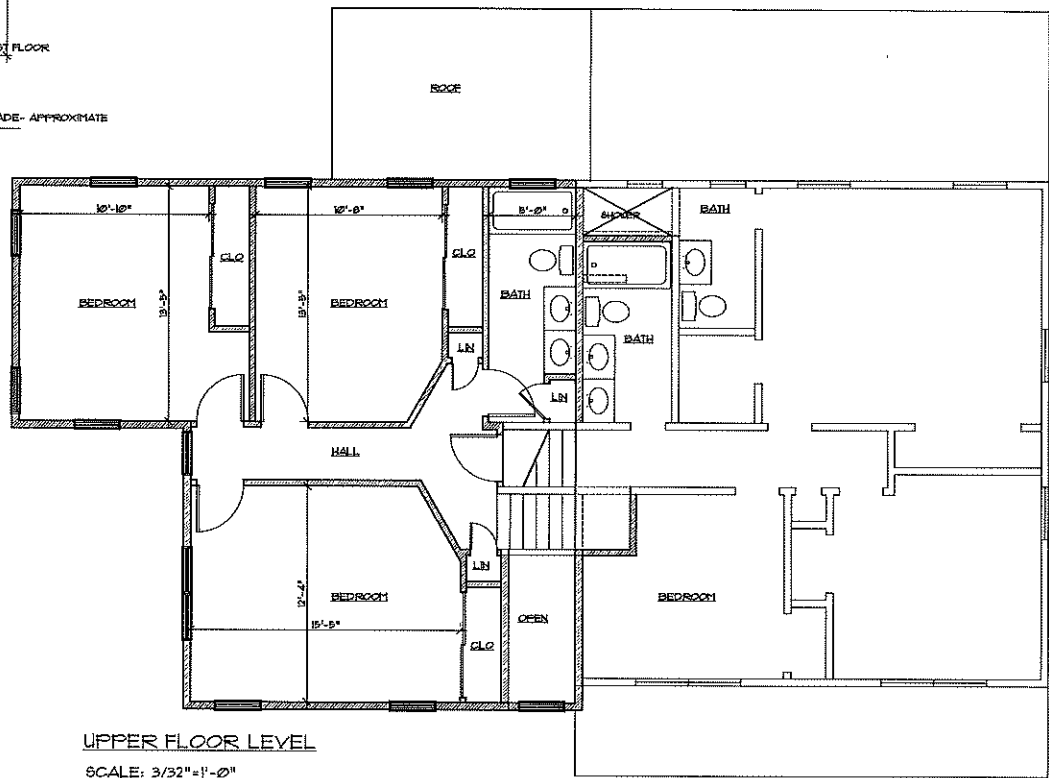
Michael Ravenda
Zoning Officer



ZONING/SITE INFORMATION - R-5 ZONE				
LOT SIZE DETERMINED AS 6000 SF, THEREFORE TO COMPLY WITH R-5 ZONING REQUIREMENTS				
ITEM	REQUIRED	EXISTING	PROPOSED	REMARKS
ZONING DISTRICT	R-5	1 FAMILY	1 FAMILY	
MINIMUM LOT AREA	6000 SF	9501 SF	9501 SF	
MINIMUM LOT WIDTH	60 FT	50 FT	50 FT	RADIUS FRONT
MINIMUM LOT DEPTH	---	113.5± FT	113.5± FT	IRREGULAR SHAPE
MINIMUM FRONT YARD	25 FT	39.5 FT	39.5 FT	EXISTING TO REMAIN
MINIMUM SIDE YARD	7.5 FT	8.6, 5.1 FT	8.6, 5.1 FT	EXISTING TO REMAIN
MINIMUM REAR YARD	25 FT	16.9 FT	16.9 FT	31.6 FT AT ADDITION
MAXIMUM HEIGHT (IN FEET)	28 FT	25± FT	28 FT MAX	AVERAGE AT CORNERS
MAXIMUM BUILDING COVERAGE	30 %	22.3 %	24.2 %	
MAXIMUM LOT COVERAGE	35 %	51.5 %	49.3 %	

LEGEND	
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION

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PRELIMINARY - FOR ZONING BOARD APPROVAL ONLY