

**SUNSHINE NOTICE
BOROUGH OF BERGENFIELD
ZONING BOARD OF ADJUSTMENT
SPECIAL MEETING
NOVEMBER 18, 2020 7:00PM
TELECONFERENCE MEETING VIA ZOOM**

Please be advised due to the current state of emergency and public health emergency declared by Governor Phil Murphy pursuant to Executive Order No. 103, and in an effort to prevent further spread of COVID-19, the November 18, 2020 Borough of Bergenfield Zoning Board of Adjustment Special Meeting will be held via teleconference using Zoom in lieu of an in-person meeting. This meeting is scheduled to commence at 7:00 pm.

Members of the public can join this meeting from their computer, tablet, or smartphone. Members of the public who join this meeting will be able to give public comment during the relevant portions of the meeting. The meeting link and telephone number to join the meeting will be provided on the Borough of Bergenfield website at www.bergenfield.com.

The Zoning Board of Adjustment agenda for this meeting can be reviewed and downloaded from the Borough website.

Please visit the Borough website on www.bergenfield.com for updates and additional information on this meeting.

Hilda Tavitian, Clerk
Zoning Board of Adjustment
Borough of Bergenfield

***THIS IS A PUBLIC NOTICE, NOT A PAID LEGAL AD.**

**BERGENFIELD ZONING BOARD OF ADJUSTMENT
SPECIAL MEETING
TELECONFERENCE VIA ZOOM
November 18, 2020 7:00 PM**

AGENDA

MEETING CALLED TO ORDER

OPEN PUBLIC MEETING STATEMENT

In compliances with the Open Public Meetings Act, the notice requirements have been satisfied. Meeting dates are confirmed at the Annual Meeting. Notice of this meeting was provided to the Record, Star Ledger, and Cablevision, posted on two municipal public notice bulletin boards and published on the borough website. Notice of this special meeting via the October 26, 2020 Sunshine Notice has been sent to the Record, Star Ledger, and Cablevision, posted on two municipal bulletin boards and the Borough website.

Any board member having a conflict of interest involving any matter to come before the board this evening is reminded they must recuse himself/herself from participating in any discussion on that matter.

PLEDGE OF ALLEGIANCE

INTRODUCTORY STATEMENT

Welcome to the Zoning Board of Adjustment. Let me briefly explain what we do. We are appointed by the Bergenfield Council to decide when a property owner should get relief from the strict application of the zoning code requirements. Typically, we hear two types of variances. The first is whether an applicant can vary from land restrictions including rules on sideline distance, height, and lot coverage. That is commonly called a bulk variance. The second is a use variance, where an applicant wants to use the property for a purpose not permitted under the zoning ordinance in that zone.

In these cases, the applicant has the burden of meeting certain criteria set forth in the Municipal Land Use Act. We carefully listen to the testimony, including objectors, and review all relevant documents. If a majority of the Board concludes that the applicant has satisfied those criteria, we must grant the requested variance.

ROLL CALL

APPROVE MINUTES OF PREVIOUS MEETING – November 2, 2020

Motion from board members to approve minutes.

CORRESPONDENCE

VERBAL COMMUNICATIONS

Comments by members of audience on matters not on evening's agenda

OLD BUSINESS

1. 145 West Main Street, LLC
145 West Main Street
Change of use to a multi-family dwelling R-5 zone to RM zone

MOTION TO ADJOURN MEETING

NOTE: No applications will be heard by the Board that were not on the agenda at the time of publication release to the newspaper or applications that do not comply with Article VIII title “Hearings contained in the By-Laws of the Bergenfield Zoning Board”.

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 145 West Main Street LLC

ADDRESS 492 Cedar Lane, Ste 519, Teaneck, NJ 07666

OWNER'S NAME Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02

OWNER'S ADDRESS _____ PHONE # _____ and 6.03)

FED I.D.# or S S _____

Applicant will be represented at public hearing by Matthew G. Capizzi, Esq.

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the
requirements of Section(s) See bulk table on site plan and/or from the
requirements of the Scheduled Limiting Bulk of Buildings of
the Zoning Ordinance in accordance with plans and
specifications attached hereto and/or decision of Zoning
Officer. The location of this property is at
NUMBER: 145 West Main Street

DESIGNATED AS Block(s) 106 and Lot(s) 6.01-6.03
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE xxx FRONT YARD x REAR YARD xxx SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____
Max Impervious Lot Coverage, Min On Site Parking, Use,
Max Building Height, and Min Front Yard Setback @ N Franklin Ave.

THE REASON FOR DESIRED VARIANCE/APPEAL
At the time of the public hearing, a professional planner will testify as to the variance criteria _____

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 150.41 x 96.20 2. SQUARE FEET IN LOT 15,215
3. SIZE OF PRESENT BUILDINGS x 4. STORIES 2
- x
5. TOTAL AREA 15,215 SQ. FT. 6. NUMBER OF ROOMS See Architectural Plan
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 7.54 %
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single family residence
-
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES xxx (Sanitary Easement)
NO (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY
Residential, Commercial and Public School
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
PREMISES? YES xxx NO IF SO, DATE FILED
- DISPOSITION Major Subdivision
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
ORDINANCE? YES NO xxx (IF SO, EXPLAIN)
-
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES NO X
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES NO X
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
MUNICIPALITY? YES NO X
-

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES xxx NO
17. SIZE OF NEW ADDITION x SQ. FT. See Site Plan
 AREA HEIGHT
18. SIZE OF NEW BUILDINGS 55 x 110 SQ. FT.
 AREA 32.99ft HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
43.38% %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Multi-Family Building

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS.

Menachem Stein, Owner of
Lot 6.01 LLC and Lots 6.02 & 6.03 LLC of full age, duly sworn
according to the law, deposes and says that he resides at
492 Cedar Lane, Suite 519 in the Borough of Teaneck
 in the County of Bergen in the State
of New Jersey that he is the owner in fee of real
property lying in the Borough of Bergenfield, known and
designated as number 145 West Main Street and that he
hereby authorizes Matthew G. Capizzi, Esq. to make the
within application in his behalf and that the statements in
the said application are true.

SWORN TO BEFORE ME THIS

DAY OF

May

19

0000

Owner

~~Notary Public~~

Matthew Capizzi, Esq. - Attorney At Law

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.

BOROUGH OF BERGENFIELD
APPLICATION FOR SITE PLAN APPROVAL

1. Applicant's name 145 West Main Street LLC Phone (H) _____
(B) _____
Applicant's address 492 Cedar Lane, Ste 519, Teaneck, NJ 07666
2. Name of present owner, if other than #1 _____
Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02 and 6.03)
3. Location of property 145 West Main Street
4. Block(s) 106 Lot(s) 6.01-6.03 Zoning district R-5
5. Structural plans Yes X No Front Elevation Yes X No
6. Name of development, if any _____
7. Are all lots to be approved owned by same person,
corporation, or partnership? Yes xxx No
8. If answer to #7 is no, give names of all owners. _____
9. Proposed uses of land and buildings
A. Multiple family dwelling structures Yes _____
Number of dwelling units 16
B. Commercial Use _____ C. Industrial Use _____
D. Other _____
10. If 1, 2 or 9 is in the name of a partnership or
corporation, list name and address of the attorney who
will represent the applicant. Matthew G. Capizzi, Esq.
11 Hillside Avenue, 2nd Fl., Tenafly, NJ 07670 Phone 201-266-8300
11. Name of architect/engineer/surveyor Michael Hubschman P.E., P.P.
Hubschman Engineering Address 263A S. Washington St., Bergenfield, NJ 07621
Phone 201-384-5666 Chris Blake Architect, 24 New Bridge Road, Bergenfield NJ, 07621
12. Name & Address of site planner if other than #11 _____ 201-816-9523
Phone _____
13. Land area sq. ft. 15,215 Landscape area sq. ft. _____
Impervious surface area sq. ft. 10,789
14. Building area sq. ft. 6,600 structure height 32.99ft
stories 3
15. Parking spaces required 30 parking spaces
provided 25

16. Parking space dimensions, Width 9 Length 18 Driveway
aisle width _____ Angle of parking: Parallel 45
60 90
17. Loading space(s) required NA Proposed loading
spaces _____
18. Loading space dimensions Width _____ Length _____
19. Are any new signs proposed Yes _____ No xxx
20. Existing signs, None xxx Will Remove _____ To Remain
Renovate _____
21. Are there any deed restrictions in force on this
property? Yes _____ No xxx If yes, include a copy
of the deed.
22. Is this or any part of this property in flood zone?
Yes _____ No xxx
23. Does this property border any county road? Yes _____ No xxx
24. Are there presently any utilities to this property?
Gas, xxx Electric, xxx Storm drains, _____
Telephone, _____ Cable TV, _____ Sanitary Sewers, xxx
25. Is this property within 200' of any other municipality?
Yes _____ No xxx
26. Are any variances required because of this application?
Yes xxx No _____
27. If answer to #26 was yes, state all variances required.
Use xxx Lot area _____ Lot frontage _____
Front yard xxx Side yard _____ Rear Yard xxx
Total side yard _____ Parking xxx Buffer _____
Other Maximum Impervious Lot Coverage, Maximum Lot Coverage, Building Height, and
and Minimum Front Yard Setback @ N Franklin Ave.
28. Has a previous variance application been filed on this
property? Yes xxx No _____
29. Is this application filed because of existing zoning
violation? Yes _____ No xxx

All questions must be answered or this application may be
deemed to be incomplete.

I, certify the above information and documents accompanying
this application are true. (Willfully false statements are in
violation of the law).

X [Signature] / _____ / _____
Signature of Applicant Date Signature of Owner if /
other than applicant Date



CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

May 28, 2020

145 W. Main Street, LLC
145 W. Main Street
Bergenfield, NJ 07621

RE: Multi-family Dwelling

Dear 145 W. Main Street, LLC

Your application for change of use to a multi-family dwelling R-5 Zone to RM Zone has been denied for the following reasons:

1. Change of use from R-5 to RM Zone.
2. Maximum density 12 units per acre 43,560 sq. feet. Proposed 16 units on 14,469 sq. feet.
3. Minimum front yard setback R-5 & R-6 25 sq. feet. Proposed front yard 22.9 sq. feet.
4. Minimum rear yard setback R-5 & R-6 25 sq. feet. Proposed rear yard 20 sq. feet.
5. Maximum lot coverage allowed R-6 over 6,000 sq. feet or 30%. Proposed lot coverage 43.38 %.
6. Maximum total improved lot coverage R-6 over 6,000 sq. feet or 35%. Proposed lot coverage 70.91%
7. Required multi-family dwelling units set back 35 sq. feet from front property line and a least 25 sq. feet from any other property line or from curb to street. (see 186-57 yards). Proposed 22.9 sq. feet front yard, 15 sq. feet from both side yards.
8. 186-55 design requirements, site plan for any multi-family development shall not be less than 20,000 sq. feet. Proposed 14,469.44 sq. feet.
9. Minimum required parking for occupants only 32 spaces not including visitor spaces. Proposed 25 parking spaces including two (2) handicap spaces.



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.

(201) 387-4055 EXT. 1-4092

FAX: (201) 385-7376

January 27, 2020

Matthew G. Capazzi, Esq
11 Hillside Avenue, second floor.
Tenafly, NJ 07670

RE: Multi-Family Residential Building. 145 W. Main St.

Dear Mr. Capazzi,

Your application to build a multi-family residential building has been denied for the following reasons:

1. A multi-family building is not permitted in the R-6 zone.
2. Front yard setback required is 25 sq. feet where 20.95 sq. feet is proposed (W. Main).
3. Rear yard setback required is 25 sq. feet where 18 sq. feet is proposed.
4. Maximum building coverage permitted is 30% where 41.24 % is proposed.
5. Maximum building height permitted is 30 feet where 36.4 feet is proposed.
6. Maximum number of stories permitted is 2 where 3 are proposed.
7. Maximum improved lot coverage permitted is 35% where 75.16% is proposed.
8. Number of parking spaces required is 29 where 15 are proposed.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

A handwritten signature in black ink, appearing to read "Harry W. Hillenius", is written over a horizontal line.

Harry Hillenius
Zoning Officer

Borough of Bergenfield
Site Plan Committee Minutes
February 10, 2020

1. Call to Order

The meeting was called to order at 7:00 PM

2. Roll Call:

<u>Richard Morf</u>	<u>Robert Rivas</u>		
<u>Gerard Naylis</u>		<u>John Pampaloni</u>	<u>Michael Ravenda</u>
<u>Perry Sulich</u>	<u>Joseph Scalora</u>		
<u>Robert Giacomelli</u>	<u>R Mader</u>		

3. Item 1.

JAH Realty Association

Site Address: 205-207 North Washington Avenue

Seeks to convert first floor office space into 4 - 1 bedroom apartments.

Attorney: Matthew Capizzi
11 Hillside Avenue
Tenafly, NJ 07670
201-266-8300

Architect: Chris Blake Architect
24 New Bridge Road
Bergenfield, NJ 07621
201-816-9523

Engineer: Hubschman Engineering
263 A. South Washington Avenue
Bergenfield, NJ 07621
201-384-5666

Owner was represented by Mr. Capizzi and Mr. Hubschman

Mr. Capizzi introduced the project:

- * Convert existing first floor office space into 4 – 1 bedroom apartments,
The building currently has 4 – 1 bedroom apartments on the second floor and
Office space on the first floor.
- * The office space has been vacant for years
- * The new use will greatly reduce the existing parking non-conformity
 - existing use requires 25.8 spaces
 - proposed use will require 14.4 spaces
 - there are 12 spaces currently
- * The owner will continue to be responsible for garbage/recycling and snow removal

4. Item 2.

145 West Main Street LLC

Menachem Stein

492 Cedar Lane, Ste. 519

Teaneck, NJ 07666

Site Address 145 West Main Street

Seeks to build a 15 unit apartment building: 5 – 1 bedroom units 10- 2 bedroom units

Attorney: Matthew Capizzi

11 Hillside Avenue

Tenafly, NJ 07670

201-266-8300

Architect: Chris Blake Architect

24 New Bridge Road

Bergenfield, NJ 07621

201-816-9523

Engineer: Hubschman Engineering

263 A S. Washington Avenue

Bergenfield, NJ 07621

201-384-5666

Mr. Capizzi introduced the project:

- * His client purchased 3 lots on West Main Street
- * Seeking to build a 15 unit apartment building
- * Seeking use and several bulk variances

Mr. Hubschman went over site plan/architectuals:

- * 15 unit building - 3 floors- 10- 2 bedroom units, 5- 1 bedroom units
- * Entrance only from west Main
- * Entrance/exit from N. Franklin
- * Drive under rear of building to parking at back of property
- * Existing 12' sewer easement will remain
- * Stormwater retention system is under rear parking lot

Board Comments:

Mr. Scalora:

- Concerned about the 81 trees being planted around perimeter.
- Questioned the size of the rooms and the ceiling height in relation to the height of building

Mr. Hubschman:

- Landscaping can be adjusted
- Height variance is only needed because of slope of property in the rear

Mr. Naylis:

- Project exceeds density, from 3 – 1 family homes to 15 units

Mr. Morf:

- Entire proposal is too much, parking, height, set backs, lot coverage all problems
- Too big for lot size

- Traffic problems with the school across the street
- Not permissible in R-5 zone
- Worried about setting a precedent

Mr. Naylis:

- Planning board changed the height requirements for B1 & B2 trying to push this type of development into those zones
- That is where this building belongs

Mr. Ravenda:

- Try and buy 2 rear lots to make the project at least somewhat compliable.
- Concerned about the traffic and the school

Mr. Capizzi:

- The school traffic and street closing will have to be resolved because the 2 rear lots have been approved

Mr. Morf:

- Single family homes should be built

Mr. Capizzi:

- The area is currently mixed use

Mr. Morf:

- As existing businesses leave, the property can only be developed as residential

Mr. Naylis:

- The project is too big and will be knocked down as it is.

Mr. Capizzi:

- Can we downsize it
- What about affordable housing units

Mr. Morf:

- Cut the top floor off
- Or remove 1 quadrant completely
- Eliminating 4 2 bedrooms and 2 1 bedroom units

Mr. Rivas:

- Removing quadrant will allow entrance and exit on West Main
- No access from N Franklin

Mr. Perry:

- Question impact on school by adding 15 units
- Is there an elevator or walk up

Mr. Capizzi:

- No elevator

Mr. Ravenda:

- The parking is a major issue, the project needs to be reduced in size
- Concerned about school crossing, is there a patrolman at the corner?

Mr. Mader:

- There is only a crossing guard at that corner

Mr. Giacomelli:

- How are you going to handle garbage
- Where are you going to put the bins
- Snow will have to be trucked off of site

Mr. Naylis:

- The fire trucks will operate from N. Franklin and West Main St. no need to fit on property
- Questioned attic construction and space

- Suggested installing a dry sprinkler system for the attic space piped to a FDC at edge of property. The owner can still use a 13r system but the attic would be covered by the dry system.

Mr. Pampaloni:

- The plan called for the sewer to be tied into the 24" line in the existing easement.
- This line carries 40% of Bergenfield's sewage and ties directly into a line that carries 90% of the sewage.
- This line during storms becomes full and it takes days for it drain.
- The building will not drain into it during those times
- Tie in building sewer into 8" line on West Main which is higher than the 24" line

Mr. Capizzi:

- For the project to work, even if they scale it back, they will still need relief for:
 - o Height
 - o Parking
 - o Setbacks
 - o Lot coverage

Board Recommendations:

- Project needs to be reduced dramatically:
 - o Density
 - o Height
 - o Lot coverage
- Reduce overall building by 30%
- Relocate sewer to West Main Street
- Ingress/egress only from West Main Street
- Eliminate any access to N Franklin

Meeting Adjourned at 8:11PM

GENERAL NOTES

- 1) TOTAL LOT AREA = 15,215 S.F. (0.349 Ac.)
- 2) ELEVATIONS BASED ON NGVD 1929.
- 3) LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- 4) CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 5) ALL DAMAGED CURB AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- 6) STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- 7) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- 8) EXISTING IMPERVIOUS AREA = 2,976 S.F.
PROPOSED IMPERVIOUS AREA = 10,789 S.F.
TOTAL INCREASE = 7,813 S.F.
- 9) CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
- 10) APPLICANT AND/OR CONTRACTOR SHALL CONTACT MR. ED RAVETT, DEPARTMENT OF PUBLIC WORKS INSPECTOR, AT (201) 336-6815 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- 11) ANY PROPOSED PLANTINGS ALONG THE PROPERTY FRONTAGE WITHIN THE SIGHT TRIANGLE AREA SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG WICKERBOCKER ROAD.
- 12) ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING SERIES 4,000 TYPE X DESIGNATION PER ASTM.
- 13) ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- 14) ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEWER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND AMENDMENTS BY THE NJDOT AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT, IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUDE RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & CULVERTS AND ROADWAY CONSTRUCTION, GRASSING AND/OR CORRECTIONS DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- 15) COUNTY SIGHT DISTANCE CRITERIA - THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHOULD BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCES REFLECT MAXIMUM CLEAR SIGHT DISTANCE.
- 16) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- 17) ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- 18) RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- 19) THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4-24-43.) A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- 20) ALL EXISTING OR PROPOSED SIDEWALKS, CURBING AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE DESIGN/CONSTRUCTION OF THE HANDICAPPED RAMP AND THE TYPE OF TRUNCATED DOME SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE. PURSUANT TO TITLE 27:16-8, THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURB LINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- 21) ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPEDE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- 22) CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S DESIGN AND CONSTRUCTION PLAN STANDARDS.
- 23) ALL PAVEMENT MARKINGS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- 24) ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMPBELL FOUNDRY PATTERN #2617), AND "N-ECO" CURB PIECES (CAMPBELL FOUNDRY PATTERN #2618.) ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUTE 40A:11-18.
- 25) ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- 26) APPLICANT SHALL PROVIDE THE COUNTY WITH REVISED DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.

I CONSENT TO THE FILING OF THIS SITE PLAN.

OWNER	DATE	BOROUGH ENGINEER	DATE
APPLICANT	DATE	CONSTRUCTION OFFICIAL	DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING
LOT 6.01, 6.02 & 6.03 BLOCK 106 ZONE R-5
DATE: SCALE: 1"=20'
APPLICANT: 145 WEST MAIN STREET, LLC
ADDRESS: C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

MICHAEL J. HUBSCHMAN, P.E.
N.J.P.E. No. 29497
TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

By:	DATE
CHAIRMAN	DATE
SECRETARY	DATE

APPROVED BY THE COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

CONSTRUCTION OFFICIAL
BOROUGH ENGINEER

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

CONSTRUCTION OFFICIAL
OCCUPANCY PERMIT ISSUED

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

TAX COLLECTOR DATE

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.

BLOCK 105
LOT 2
BOARD OF EDUCATION

BLOCK 110
LOT 20

BLOCK 109
LOT 27

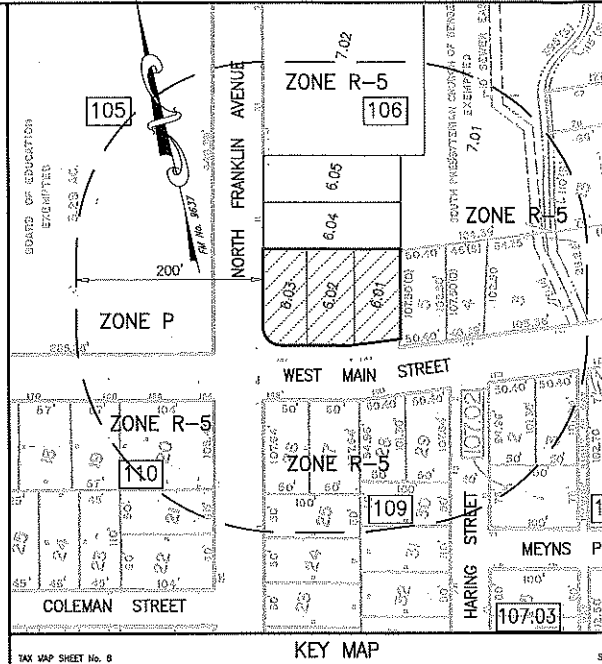
DRAWING LIST:

- 3821-1 SITE PLAN
- 3821-2 GRADING, DRAINAGE AND UTILITY PLAN
- 3821-3 SOIL EROSION AND SEDIMENT CONTROL PLAN; DETAILS
- 3821-4 STORMWATER MANAGEMENT DETAILS
- 3821-5 LIGHT AND LANDSCAPING PLAN; DETAILS
- 3821-6 EXISTING CONDITIONS PLAN

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC No. 37206

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

0 20 40
SCALE: 1"=20'



ZONING NOTES

R-5 ZONE PROPOSED MULTI-FAMILY DWELLING		
	REQUIREMENT	PROPOSED
MIN. LOT AREA	5,000 S.F.	15,215 S.F.
MIN. LOT WIDTH	50 FT.	50 FT.
WEST MAIN STREET	50 FT.	50 FT.
NORTH FRANKLIN AVENUE	50 FT.	50 FT.
MAX IMP. LOT COVERAGE	40%	70.91% *
MAX LOT COVERAGE	40%	43.38% *
MAX BUILDING HEIGHT	30 FT./ 2 STY.	32.99 FT./ 3 STY. *
MIN. FRONT YARD	15 FT.	22.90 FT.
WEST MAIN STREET	25 FT.	15.30 FT. *
NORTH FRANKLIN AVENUE	5 FT.	15.00 FT.
MIN. SIDE YARD (ONE)	10 FT.	H/A
MIN. SIDE YARD (BOTH)	25 FT.	20.00 FT. *
MIN. REAR YARD	30 SPACES	25 SPACES *
MIN. PARKING		

* VARIANCE REQUIRED.

PROPOSED BLDG. COVERAGE CALC'S

FOOTPRINT	=	1,118 S.F.
OVERHANG	=	5,482 S.F.
TOTAL IMP. COV.	=	6,600 S.F./15,215 S.F. = 43.38%

PROPOSED IMPERVIOUS COVERAGE CALC'S

LOT COVERAGE	=	5,600 S.F.
PARKING & DRIVEWAY	=	3,929 S.F.
WALKS	=	260 S.F.
TOTAL IMP. COV.	=	10,789 S.F./15,215 S.F. = 70.91%

PARKING DATA

(12) - 1 BEDROOM UNIT 12 x 1.8	=	21.6 SPACES
(4) - 2 BEDROOM UNIT 4 x 2.0	=	8.0 SPACES
TOTAL	=	29.6 SPACES REQUIRED
	=	30 SPACES REQUIRED
	=	25 SPACES PROVIDED

REFERENCES

- 1) A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 9637.
- 2) BOROUGH OF BERGENFIELD TAX MAP.

SITE PLAN

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD BERGEN COUNTY
APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

DRAWN BY: B.W.
CHKD BY: M.H.
SCALE: 1"=20'
DRAWING NO. 3821

HUBSCHMAN
ENGINEERING, P.A.

LOT 2
N/F
BOARD OF EDUCATION

LOT 20


LOT 27

TS 6.01, 6.02 & 6.03

PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD BERGEN COUNTY

APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200



**HUBSCHMAN
ENGINEERING.P.A.**

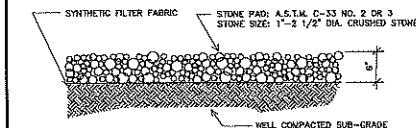
DRAWN BY:	B.W.
CHKD BY	MJH
SCALE:	1"=
DRAWING NO.	

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

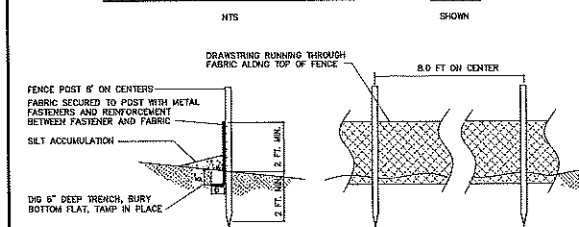
1. All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
2. Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the erosion prohibits temporary seeding, the disturbed area will be mulched with eroded stone at a rate of 2 tons per acre enclosed by approved methods (i.e. peg and twine, mesh netting, or liquid mulch binder).
3. Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
4. Stabilization Specifications:
 - A. Temporary Seeding and Mulching:
 - Grass Seed - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 10 lbs./1,000 sq. ft. of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
 - Seed - perennials (except for the first 2.5 tons/1,000 sq. ft. or other approved seeds) planted between March 1 and May 15 or between August 15 and October 1.
 - Mulch - Unsettled stone or hay at a rate of 70 to 90 tons/1,000 sq. ft. applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mesh netting, or liquid mulch binder).
 - B. Permanent Seeding and Mulching:
 - Topsoil - A uniform application to an average depth of 5", minimum of 4" formed in place is required.
 - Grass Seed - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 11 lbs./1,000 sq. ft. of 10-10-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
 - Seed - Tall type fescue (blend of 3 cultivars) 350 lbs./acre (5 tons/1,000 sq. ft.) or other approved seeds; plant between March 1 and October 1.
 - Mulch - Unsettled stone or hay at a rate of 70 to 90 tons/1,000 sq. ft. applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mesh netting, or liquid mulch binder).
5. The site shall at all times be graded and maintained such that Stormwater runoff is directed to soil erosion and sediment control facilities.
6. Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
7. Slopestakes are not to be located within 50' of a Roadside, slope, roadway or drainage facility. The base of all slopestakes shall be contained by a hinged stabilizer or silt fence.
8. A covered stone, plastic sheeting blanket will be installed whenever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2" crushed stone, 5" thick, not to be less than 30' x 100' and must be secured with a suitable synthetic sediment filter fabric and maintained.
9. Maximum side slopes of an exposed surface shall not exceed 3:1 unless otherwise approved by the District.
10. Driveways must be stabilized with 1" - 2" crushed stone or subbase prior to installed lot construction.
11. All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-way, will be removed immediately. Paved roadways must be kept clean at all times.
12. Catch basins will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
13. Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
14. Dewatering operations must discharge directly into a sediment control bay or other approved filter in accordance with Section 14-1 of the NJ Standards.
15. Dust shall be controlled by the application of water, certain chemical or other approved method in accordance with Section 16-1 of the NJ Standards.
16. Trees to remain after construction are to be protected with a suitable fence installed at the drip line or beyond in accordance with Section 9-1 of the NJ Standards.
17. The project owner shall be responsible for any erosion or sedimentation that may occur before stormwater runoff or off-site as a result of construction of the project.
18. Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
19. A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
20. The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance: Bergen County SCD, 700 Woodlands Road, Suite 106, Oradell, NJ 07649, Tel: 201-261-4400; Fax 201-261-7074.
21. The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
22. The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the District's visit to inspect all construction operations. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

1. INSTALL 25'x50' TRACKING BED AT CONSTRUCTION ENTRANCE.
2. INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION ACCORDING TO PLAN.
3. DEMOLISH EXISTING BUILDING.
4. REMOVE TOPSOIL AND STOCKPILE.
5. PROVIDE ROUGH GRADING FOR SITE.
6. EXCAVATE FOR NEW BUILDING, DRIVEWAY, AND UTILITIES.
7. CONSTRUCT NEW BUILDING, PROVIDE PARKING PARK COURSE ON DRIVEWAY.
8. PROVIDE FINAL GRADING, TOPSOIL, RESEEDING, AND LANDSCAPING. UNIFORMITY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FORMED IN PLACE.
9. PROVIDE FINAL PAVING.
10. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL AGENCY.



STABILIZED CONSTRUCTION ACCESS



SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL



BREAKAWAY SIGN POST DETAIL



DETAIL OF DROP CURB



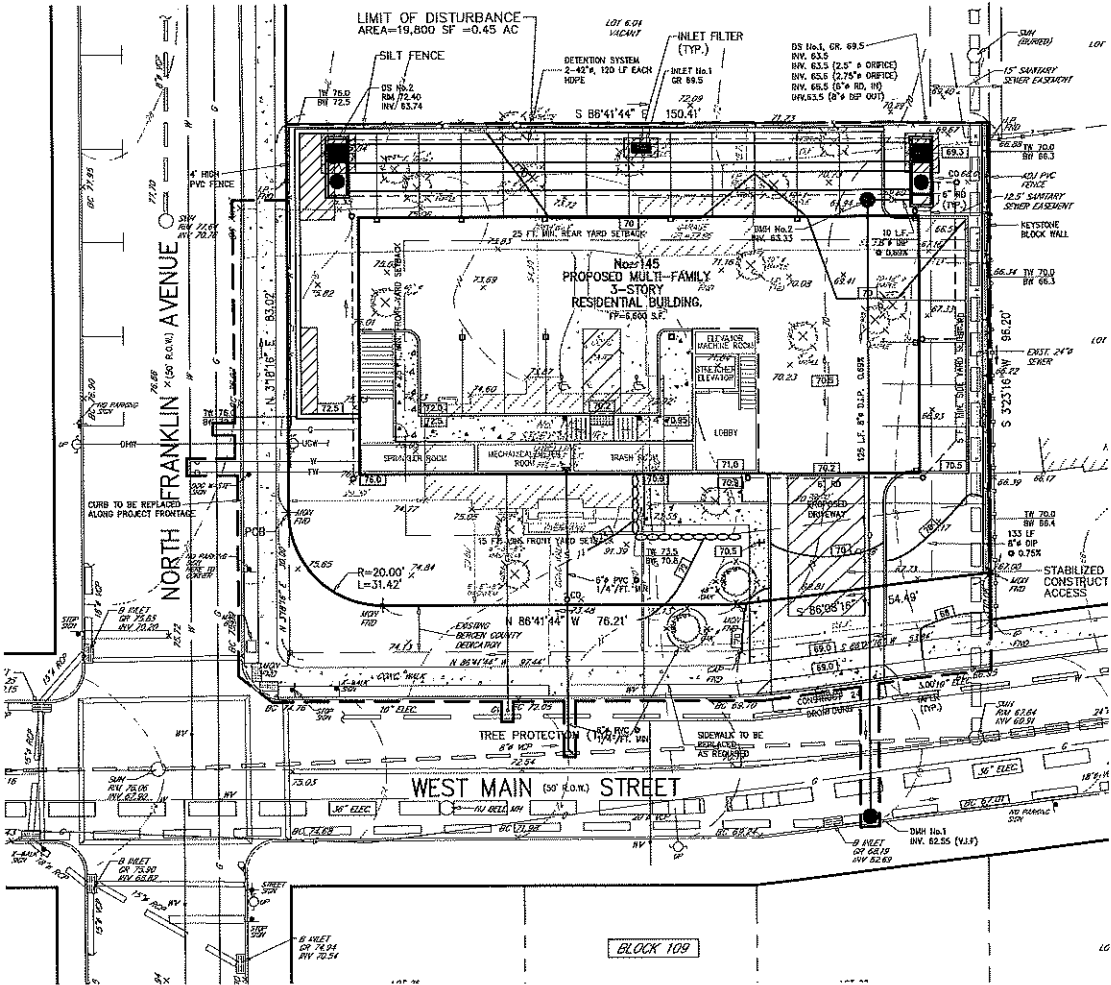
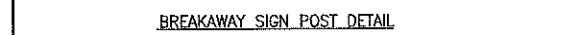
SANITARY MANHOLE DETAIL

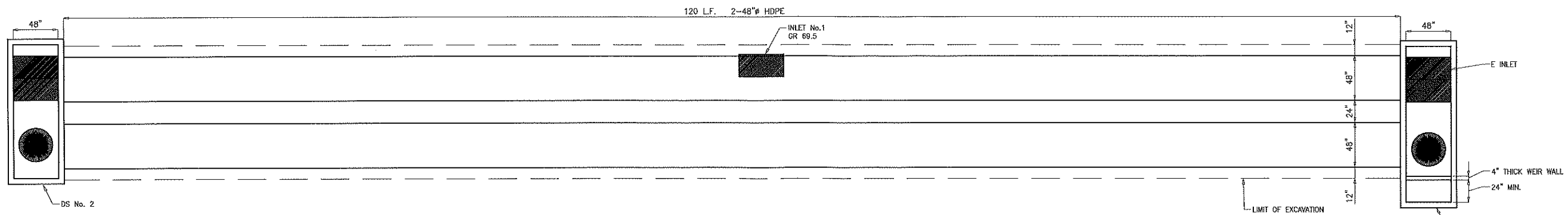


HOUSE LATERAL AND CLEANOUT DETAIL

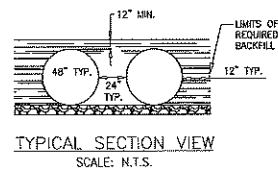
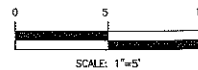


DOGHOUSE MANHOLE

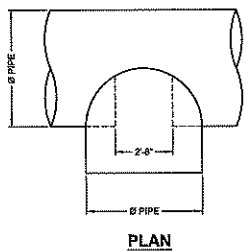




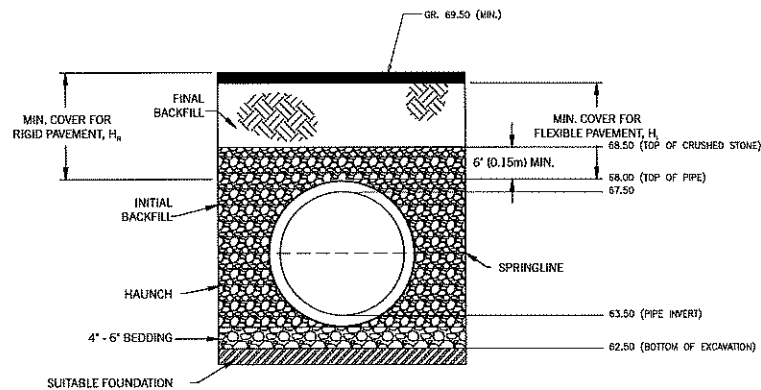
DENTENTION SYSTEM PLAN



TYPICAL SECTION VIEW
SCALE: N.T.S.



FRONT
TYPICAL MANWAY DETAIL
SCALE: N.T.S.

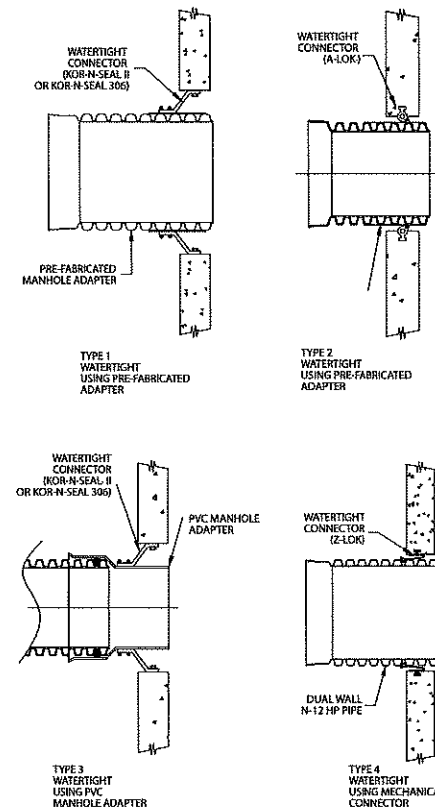


FILL AS SPECIFIED BY
DESIGN ENGINEER
STRUCTURAL BACKFILL
(COMPACTED CLASS I,
II, OR III MATERIAL)

$H_R, H_I = 12'$ FOR PIPE DIAMETERS UP TO 48"
 $= 24'$ FOR PIPE DIAMETERS 54" AND 60"

TOTAL MINIMUM COVER INCLUDES 6" OF
STRUCTURAL BACKFILL ABOVE THE PIPE
CROWN AND THE FINAL FILL.

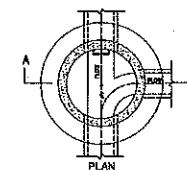
HDPE PIPE BACKFILL DETAIL
NOT TO SCALE



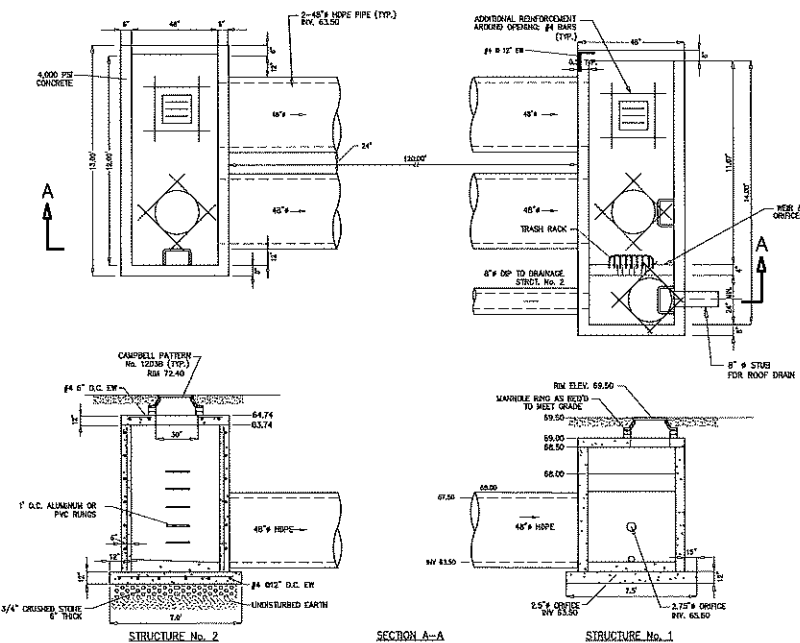
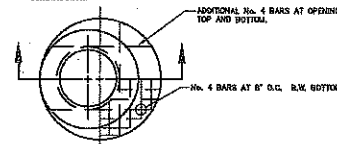
HDPE PIPE CONNECTION TO MANHOLE DETAIL
NOT TO SCALE

NOTES:

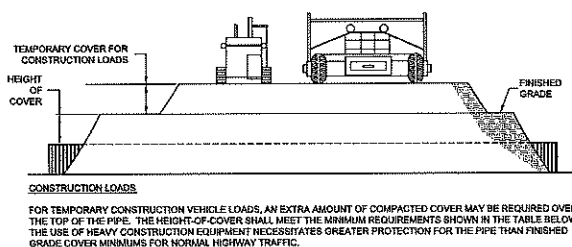
- THIS MANHOLE MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK & POINTED.
- PROVIDE 7/8" DIA. X 7' X 12" ALUMINUM LADDER RUNGS, 12" O.C.
- WHEN DEPTH IS GREATER THAN 12' THE WALLS SHOULD BE EITHER 8" CONCRETE OR 8" CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
- WHEN PRECAST STRUCTURES ARE USED, CLEAN STONE SHALL BE PLACED BENEATH STRUCTURE TO A DEPTH OF 6".



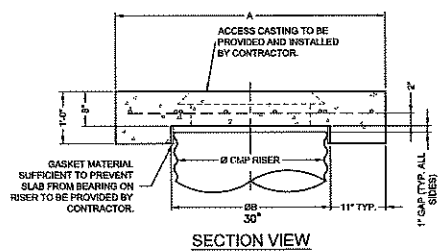
NOTE:
ALL REINFORCEMENT IS SUBJECT
TO ENGINEER'S APPROVAL BEFORE
CONSTRUCTION.



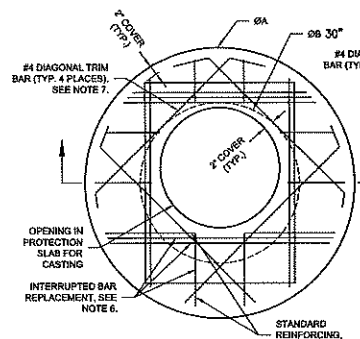
SECTION A-A
DETENTION SYSTEM DETAIL



FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.



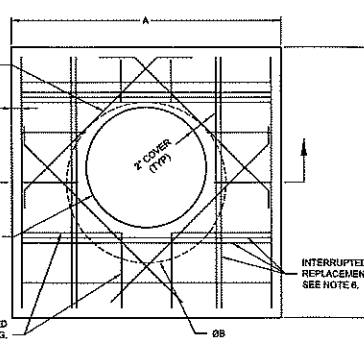
SECTION VIEW



ROUND OPTION PLAN VIEW

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
48"	4'-0"	4'-0"	#5 @ 12" O.C.W.	2,120
36"	4'-0" X 4'-0"	3'-0"	#5 @ 12" O.C.W.	1,530
30"	4'-0"	3'-0"	#5 @ 12" O.C.W.	1,000
24"	4'-0"	2'-0"	#5 @ 12" O.C.W.	1,000
18"	4'-0"	1'-0"	#5 @ 12" O.C.W.	1,000
12"	4'-0"	0'-0"	#5 @ 12" O.C.W.	1,000

** ASSUMED SOIL BEARING CAPACITY



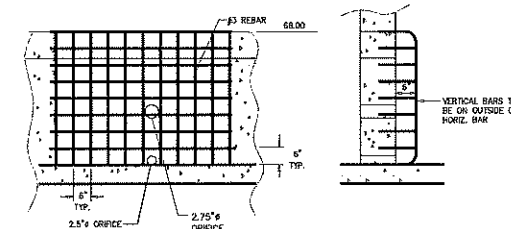
SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS20.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

MANHOLE CAP DETAIL

Temporary Cover Requirements for Light Construction Traffic			
Type of Vehicle	Vehicular Load at Surface psi (kPa)	Temporary Minimum Cover, in. (mm) for:	
		4" - 48" (100-1200mm) diameters	54" - 60" (1350 and 1500mm) diameters
Semi-tractor ¹	75 (517)	9 (230)	12 (300)
Loaded pick-up truck ²	50 (345)	6 (150)	9 (230)
Skid steer loader ³	25 (172)	3 (80)	6 (150)



TRASH RACK DETAIL

NO.	MODIFIED BUILDING & SITE LAYOUT	REVISIONS	DATE	BY
1			5-1-20	N.J.

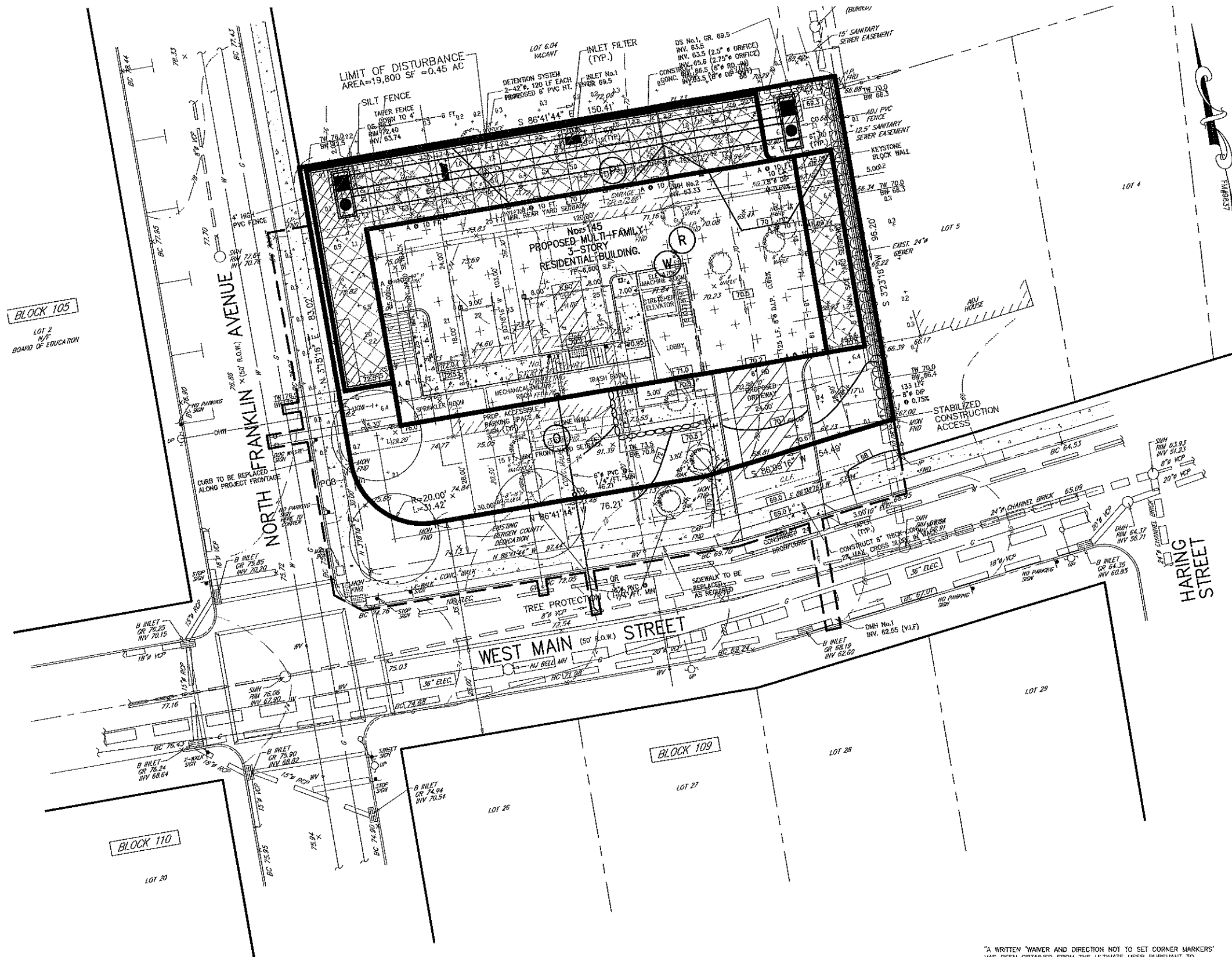
STORMWATER MANAGEMENT DETAIL

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD BERGEN COUNTY
APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3260

HUBSCHMAN
ENGINEERING, P.A.
ENGINEERS, PLANNERS, & SURVEYORS

DRAWN BY: B.N.
CHKD BY: N.J.H.
SCALE: AS
DRAWING NO.
3821-0



BLOCK 105
LOT 2
N.Y.
BOARD OF EDUCATION

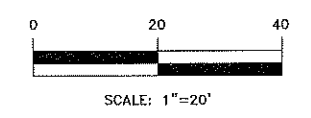
BLOCK 110

BLOCK 109

ZONING NOTES	
R-5 ZONE	
	REQUIRED
MIN. LOT AREA	5,000 S.F.
MIN. LOT WIDTH	50.00 FT.
MAX. IMPROVED LOT COVERAGE	40%
MAX. LOT COVERAGE	40%
MAX. BUILDING HEIGHT	2 STY / 28FT
MIN. FRONT YARD	15/25 FT.
MIN. SIDE YARD	ONE 5.00 FT.
	BOTH 10.00 FT.
MIN. REAR YARD	25.00 FT.

NOTE: ELEVATIONS BASED ON NGVD 1929

- REFERENCES
- 1) A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP NO. 9637
 - 2) BOROUGH OF BERGENFIELD TAX MAP



"A WRITTEN 'WARRANT AND DIRECTION NOT TO SET CORNER MARKERS' HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14(C45:8-36.3) AND N.J.A.C. 13:40-5.1(d). THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITION FOUND AT, AND AS OF DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE


SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD FACILITIES, WETLANDS OR ENVIRONMENTAL RESTRICTIONS OTHER THAN

"SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP WAS PREPARED FOR A SPECIFIC TRANSACTION INVOLVING ONLY THE PARTIES "CERTIFIED TO" ON THIS MAP. ONLY COPIES OF THIS MAP BEARING THE EMBOSSED SEAL OF ROBERT J. MUELLER ARE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE

TAX LOT 6IN BLOCK 106

TOPOGRAPHIC SURVEY

BOROUGH OF BERGENFIELD
BERGEN COUNTY, NEW JERSEY

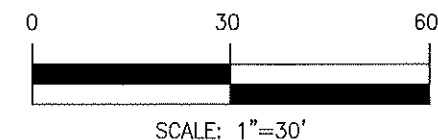
 HUBSCHMAN ENGINEERING
ENGINEERS LAND SURVEYORS PLANNERS
263A S. WASHINGTON AVE., BERGENFIELD
NEW JERSEY 07621 (201) 384-5666

ROBERT J. MUELLER, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LIC. 37206

REV.	DWN. MZ	9-19-19	JOB No.
CHK'D. R.M.	SCALE: 1"=20'		3821



EXISTING DRAINAGE AREAS			
Drainage Area	Impervious Area (sf.)	Pervious Area (sf.)	Total Area (sf.)
W	2,976	12,239	15,215
Total	2,976	12,239	15,215



SCALE: 1"=30'

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1-8-20

DATE

DRAINAGE AREA MAP - EXISTING

LOTS 6.01, 6.02 & 6.03

PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET

BOROUGH OF BERGENFIELD BERGEN COUNTY NEW

APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670


DRAWN BY: N.M.

CHKD BY MJH

SCALE: AS SH

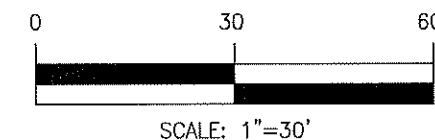
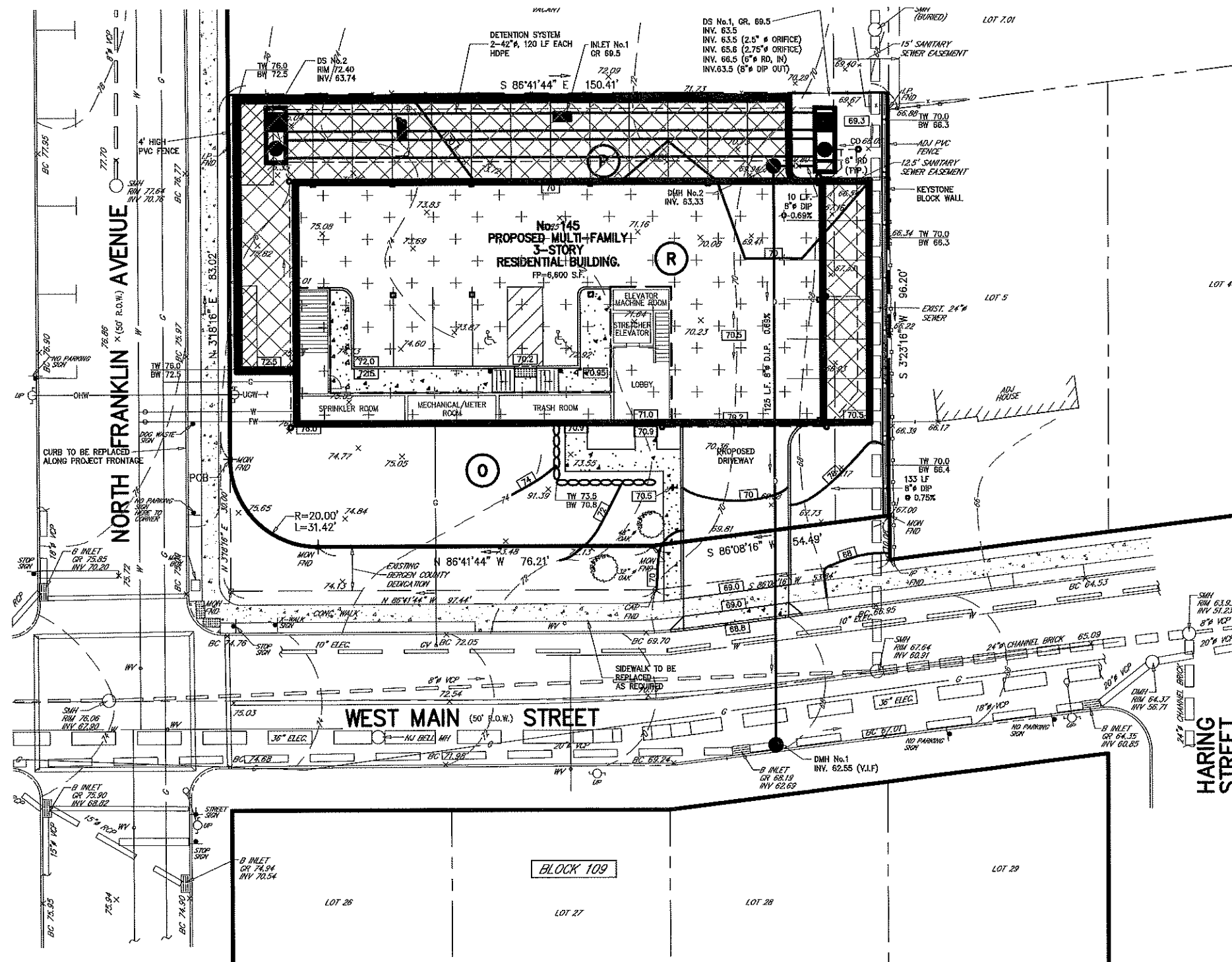
DRAWING NO.

3821-6

 $1 \quad OF \quad 2$ 

**HUBSCHMAN
ENGINEERING, P.A.**

ENGINEERS - PLANNERS - SURVEYORS
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-384-5666



MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1-8-20
DATE

NO.	MODIFIED BUILDING & SITE LAYOUT	4-16-20	N.M.
	REVISIONS	DATE	BY

DRAINAGE AREA MAP - PROPOSED

LOTS 6.01, 6.02 & 6.03

PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET

BOROUGH OF BERGENFIELD BERGEN COUNTY NEW

APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

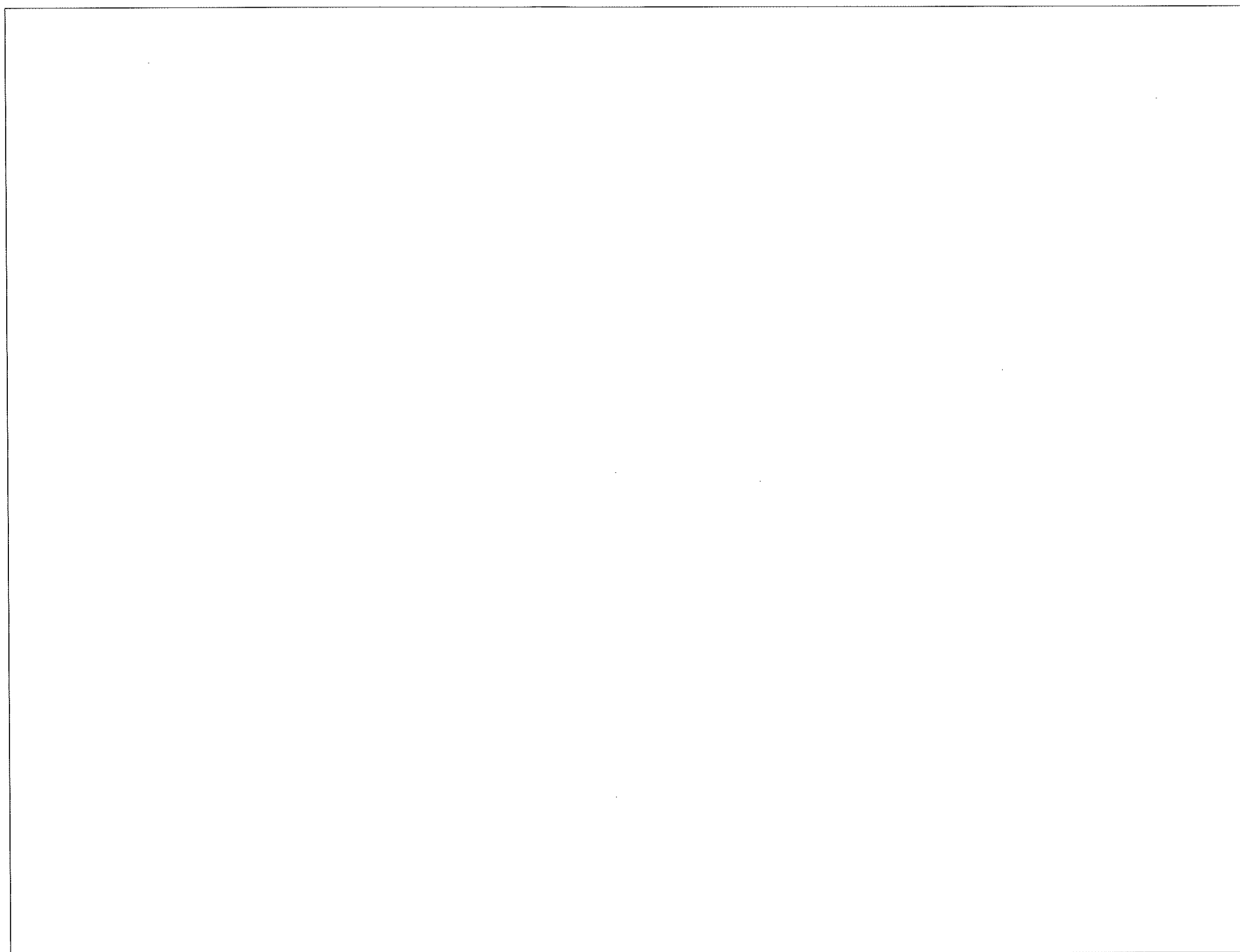
HUBSCHMAN
ENGINEERING, P.A.

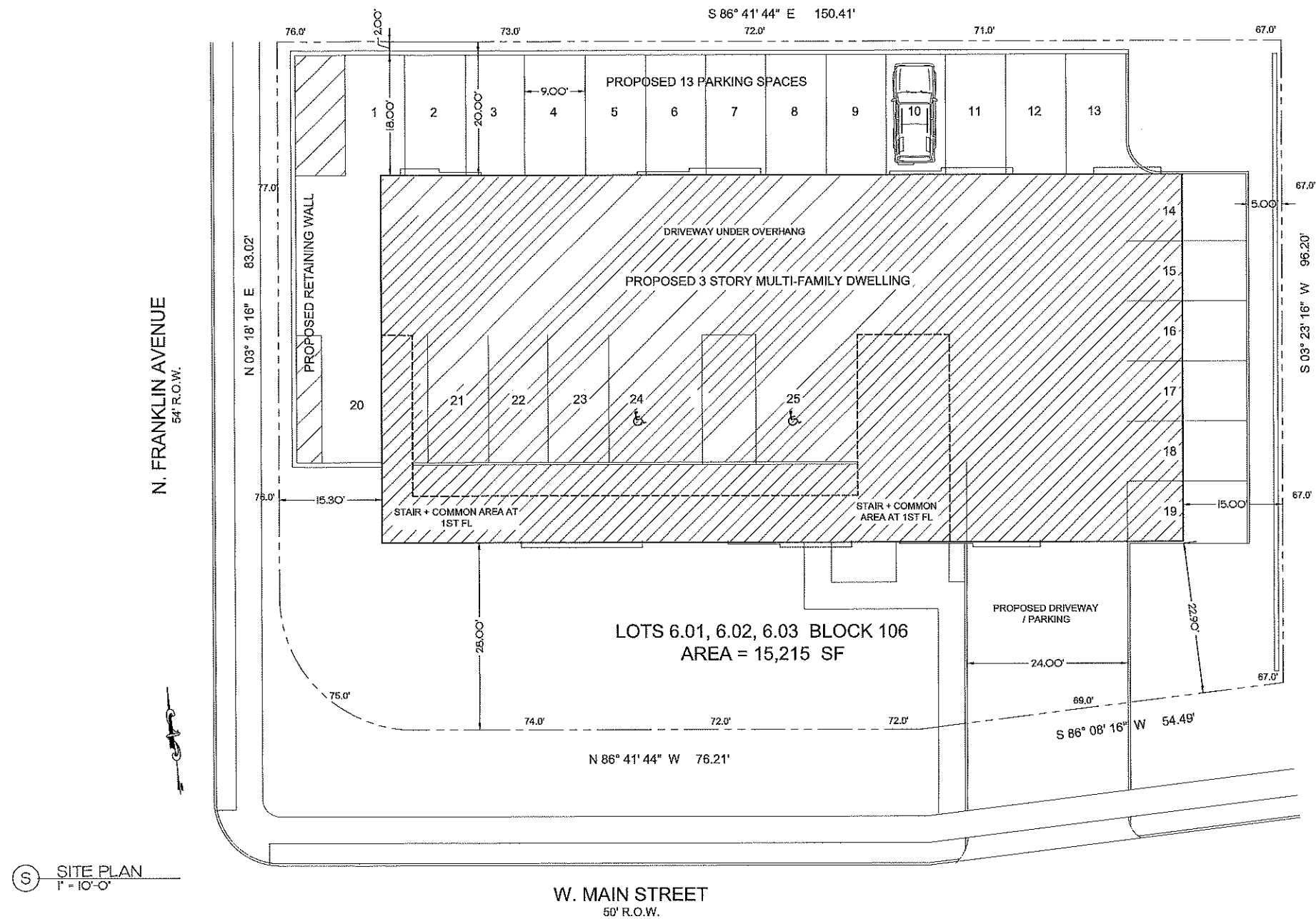
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201-384-5666

DRAWN BY: N.M.
CHKD BY: MJH
SCALE: AS SHOWN
DRAWING NO.

3821-7

2 OF 2





S SITE PLAN
1" = 10'-0"

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE PROPERTY OWNER:
HUBSCHMAN ENGINEERING, ENGINEERS, LAND SURVEYORS, & PLANNERS,
BERGENFIELD, NJ - ROBERT J. MUELLER P.L.S., LIC NO 37206 - DATED X/XX/XXXX

BUILDING DATA:

PARKING LEVEL:	0- 1 BEDROOM UNITS	0- 2 BEDROOM UNITS
1ST FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS
2ND FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS

PARKING DATA:

1 BEDROOM UNIT:	12 X 1.8 = 21.6 SPACES
2 BEDROOM UNIT:	4 X 2.0 = 8 SPACES

TOTAL 30 SPACES REQUIRED, 25 SPACES PROVIDED

ELECTRICAL LEGEND	
• SURFACE MOUNT LIGHT FIXTURE	• SINGLE POST ELECTRICAL SWITCH
• 6" DIA. (1/4") RECESSED FIXTURE	• THREE WAY SWITCH
• WALL MOUNTED LIGHT FIXTURE	• DUPLEX RECEPTACLE OUTLET
NEW OR EXST SMOKE ALARM • INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
NEW OR EXST CARBON MONOXIDE • DETECTOR, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	• WATER PROOF RECEPTACLE OUTLET
• SURFACE MOUNT FAN / LIGHT FIXTURE	NEW OR EXST EXHAUST FAN, 80 CFM + 3 FIXTURES, 110CFM + 4 FIXTURES
	NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
	NEW TELEPHONE OUTLET - VERIFY TYPE + LOCATION WITH OWNER

LEGEND

EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16" OC (1/4")
EXISTING CONCRETE CONSTRUCTION TO REMAIN
EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
NEW POURED OR MASONRY CONC CONSTRUCTION

FLOOR ABOVE OR BELOW
NEW JOISTS, RAFTERS, ETC.
NEW GIRDERS, RIDGEBEAMS, ETC.

#	Date	Revision
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New Construction for:

Multi Family Building

Block: 106 Lot: 6.01, 6.02, 6.03
145 Main Street
Bergenfield, New Jersey

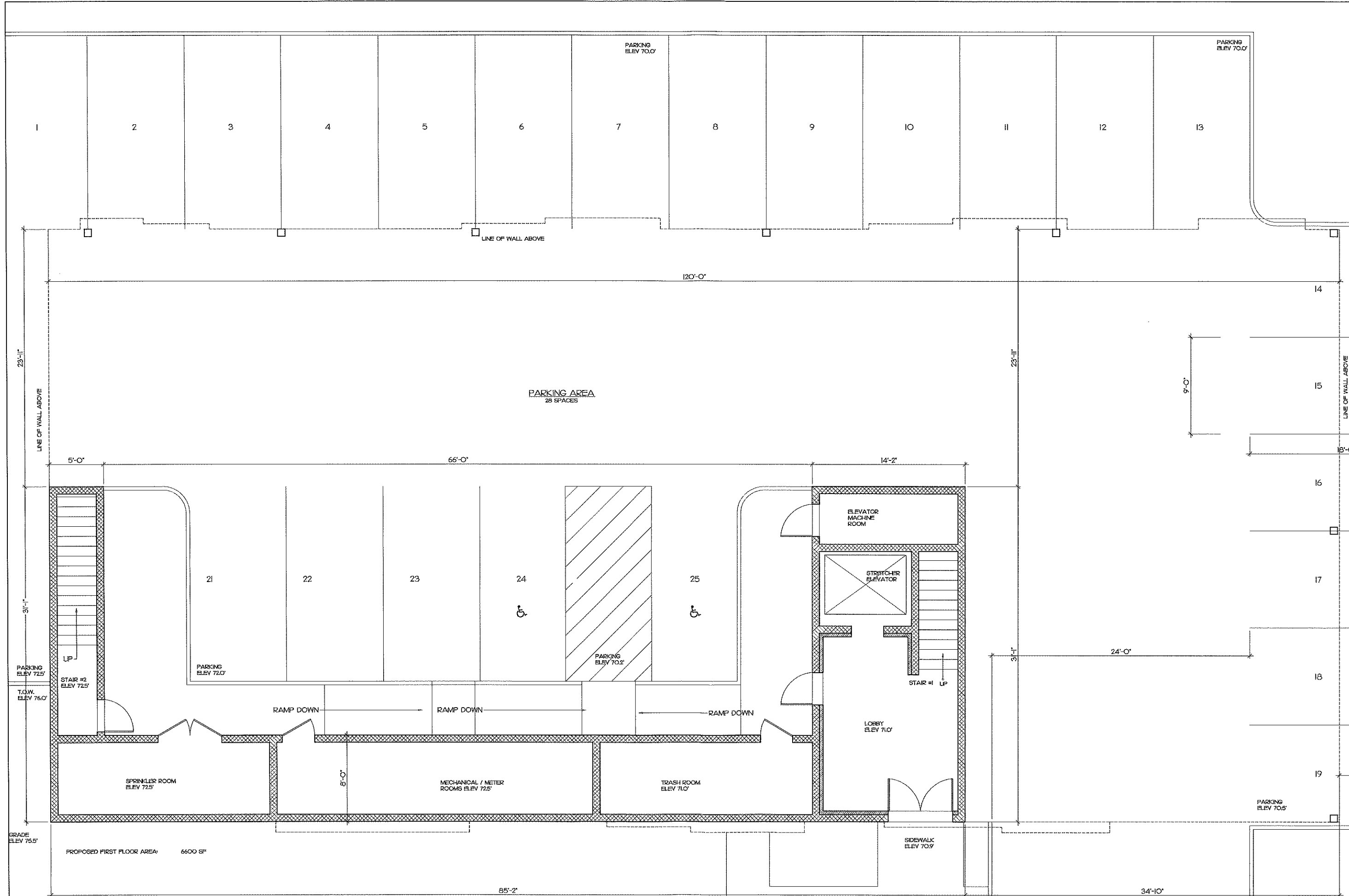
SITE PLAN, LEGEND + ZONING

Scale: AS NOTED

Date: MAY 1, 2020

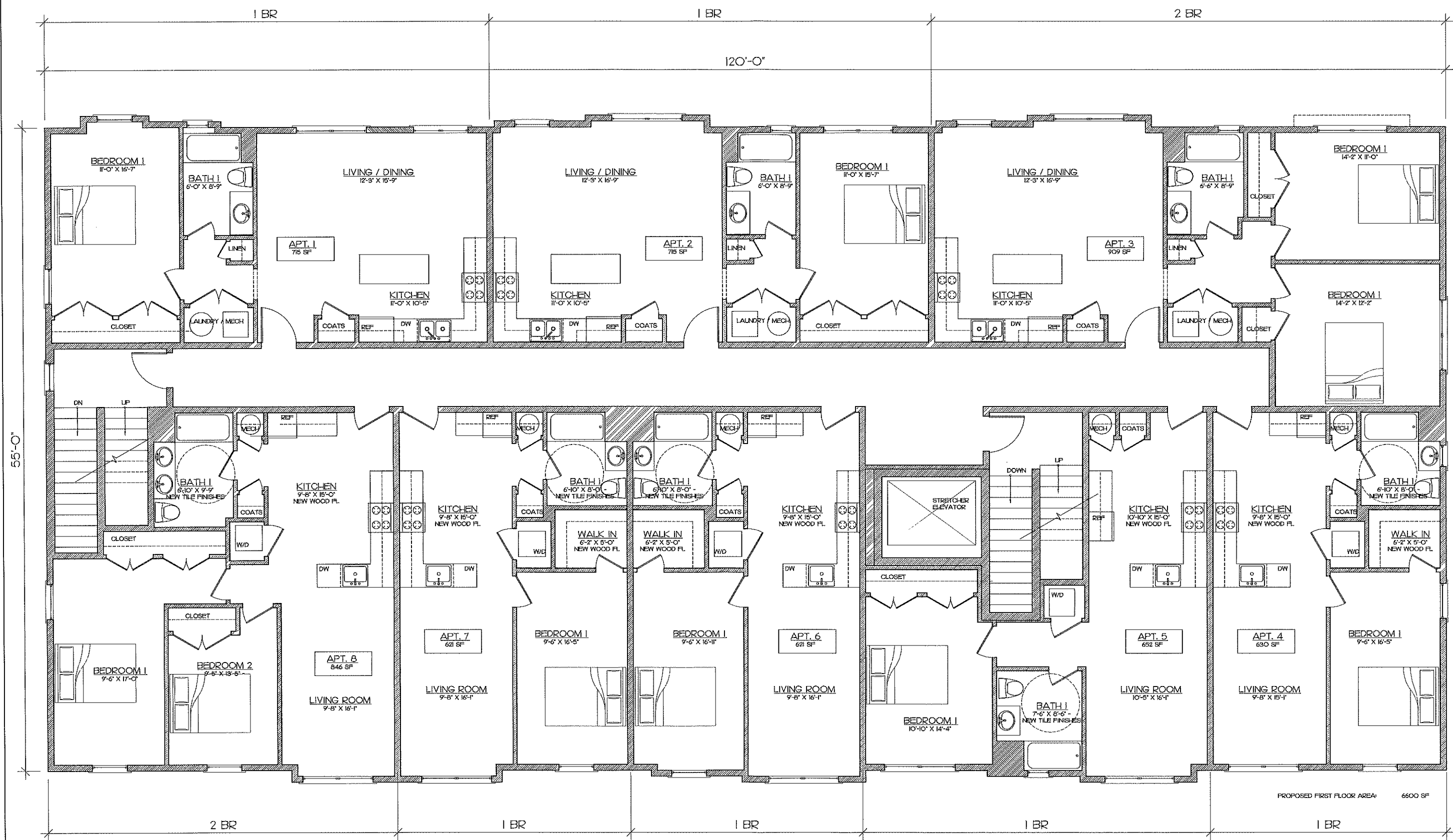
Submission: ZONING APPLICATION

Indemnification Clause:
The owner shall release, hold harmless, and defend the Architect with respect to any changes in construction documents by anyone other than the Architect or changes in any aspect of the work, or Contractor to build in accordance with the documents.



(B) PROPOSED BASEMENT / PARKING LEVEL PLAN
1/4" = 1'-0"

#	Date	Revision
New Construction for:		
Multi Family B Block: 106 Lot: 6.01, 6 145 Main Street Bergenfield, New Jersey		
BASEMENT FLOOR PLAN		
Scale: 1/4" = 1'-0"		
Date: MAY 1, 2020		
Submission: ZONING AP		
Indemnification Clause: The owner shall release, hold harmless, Architect with respect to: any changes construction documents by anyone of or changes in any aspect of the work, Contractor to build in accordance with documents.		



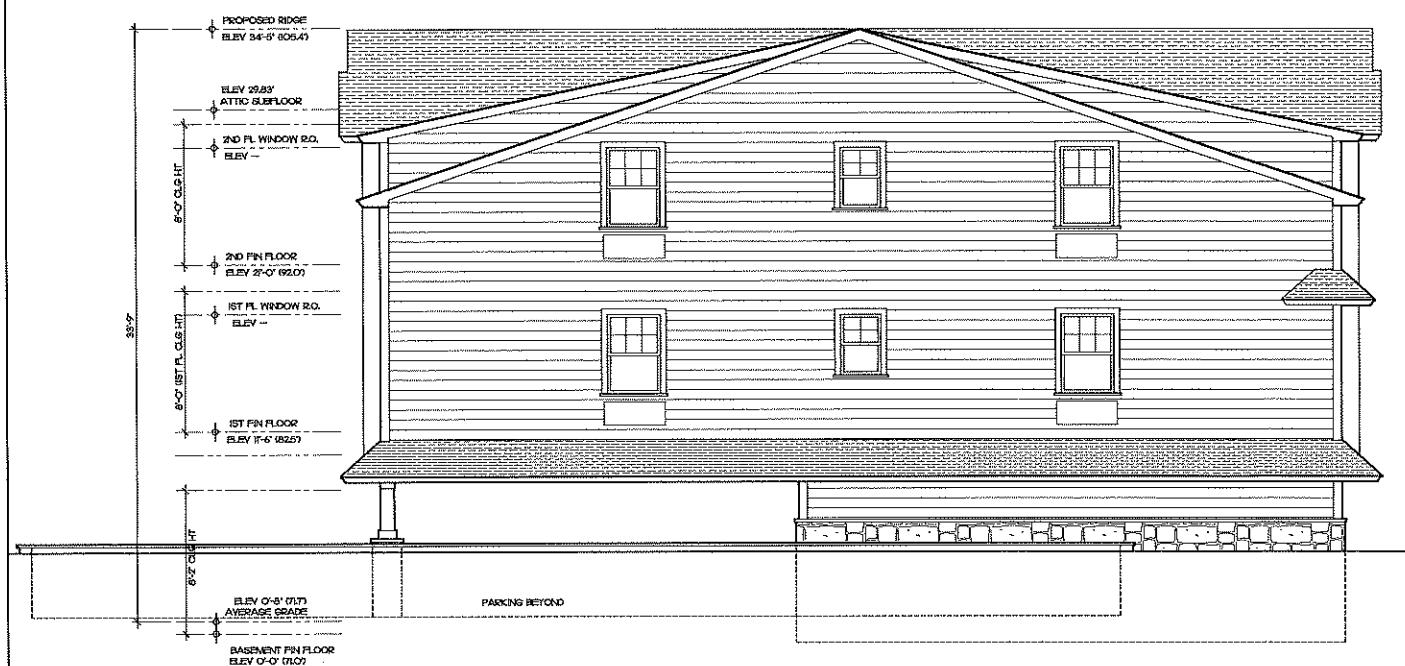
1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



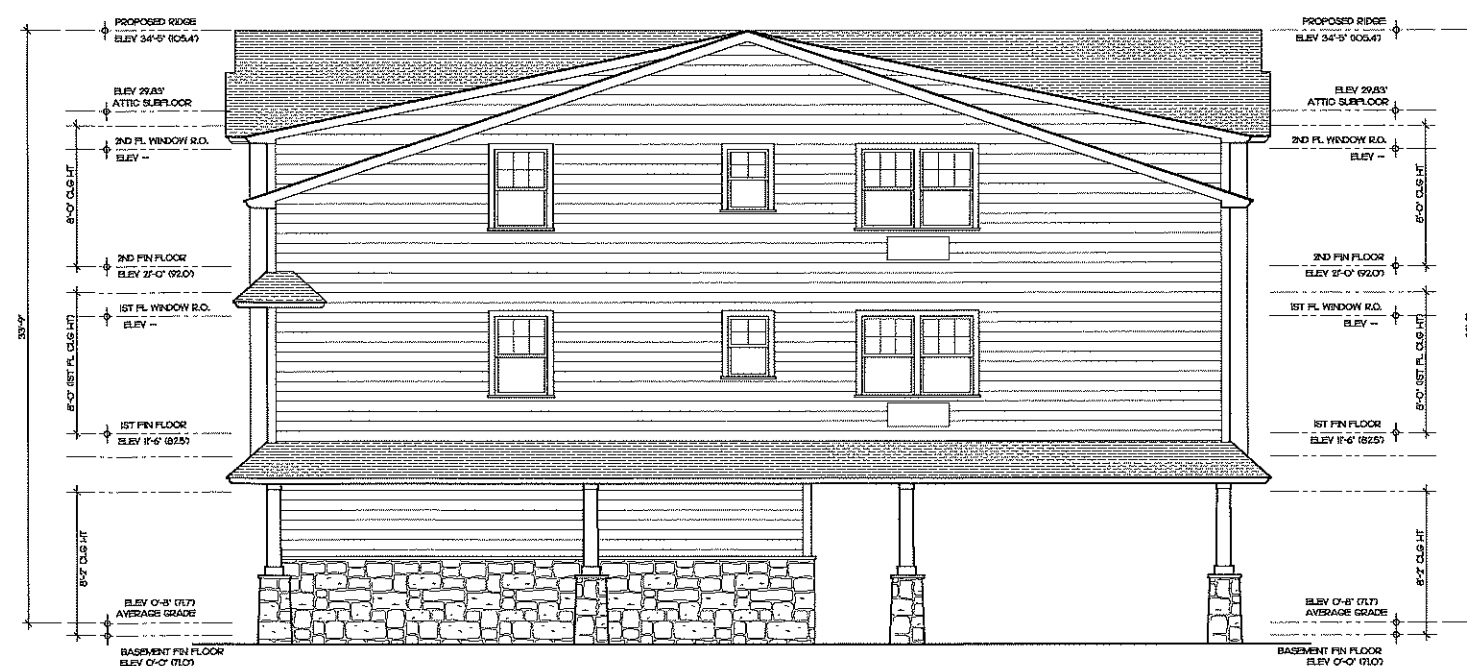
2 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED FRONT MAIN STREET ELEVATION
3/16" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
3/16" = 1'-0"



6 PROPOSED RIGHT SIDE ELEVATION
3/16" = 1'-0"

#	Date	Revision
1		New Construction for:
2		Multi Family Bu
3		Block: 106 Lot: 6.01, 6.
4		145 Main Street
5		Bergenfield, New Jersey
6		ELEVATIONS
7		Scale: 3/16" = 1'-0"
8		Date: MAY 1, 2020
9		Submission: ZONING APP
10		Indemnification Clause:
11		The owner shall release, hold harmless
12		Architect with respect to any changes
13		construction documents by anyone other
14		or changes in any aspect of the work,
15		Contractor to build in accordance with
16		documents.



5 PROPOSED REAR ELEVATION
3/16" = 1'-0"

Date Revision
New Construction for:

Multi Family B
Block: 106 Lot: 6.01, 6
145 Main Street
Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 1, 2020

Submission: ZONING AP

Indemnification Clause:
The owner shall release, hold harmless
Architect with respect to any change
construction documents by anyone of
or changes in any aspect of the work.
Contractor to build in accordance with
documents.