

**SUNSHINE NOTICE  
BOROUGH OF BERGENFIELD  
ZONING BOARD OF ADJUSTMENT  
REGULAR MEETING  
NOVEMBER 2, 2020 8:00PM  
TELECONFERENCE MEETING VIA ZOOM**

Please be advised due to the current state of emergency and public health emergency declared by Governor Phil Murphy pursuant to Executive Order No. 103, and in an effort to prevent further spread of COVID-19, the November 2, 2020 Borough of Bergenfield Zoning Board of Adjustment meeting will be held via teleconference using Zoom in lieu of an in-person meeting. This meeting is scheduled to commence at 8:00 pm.

Members of the public can join this meeting from their computer, tablet, or smartphone. Members of the public who join this meeting will be able to give public comment during the relevant portions of the meeting. The meeting link and telephone number to join the meeting will be provided on the Borough of Bergenfield website at [www.bergenfield.com](http://www.bergenfield.com).

The Zoning Board of Adjustment agenda for this meeting can be reviewed and downloaded from the Borough website.

Please visit the Borough website on [www.bergenfield.com](http://www.bergenfield.com) for updates and additional information on this meeting.

Hilda Tavitian, Clerk  
Zoning Board of Adjustment  
Borough of Bergenfield

**\*THIS IS A PUBLIC NOTICE, NOT A PAID LEGAL AD.**

**BERGENFIELD ZONING BOARD OF ADJUSTMENT  
REGULAR MEETING  
TELECONFERENCE VIA ZOOM  
November 2, 2020 8:00 PM**

**AGENDA**

**MEETING CALLED TO ORDER**

**OPEN PUBLIC MEETING STATEMENT**

In compliances with the Open Public Meetings Act, the notice requirements have been satisfied. Meeting dates are confirmed at the Annual Meeting. Notice of this meeting was provided to the Record, Star Ledger, and Cablevision, posted on two municipal public notice bulletin boards and published on the borough website. Notice of this meeting via the October 26, 2020 Sunshine Notice has been sent to the Record, Star Ledger, and Cablevision, posted on two municipal bulletin boards and the Borough website.

Any board member having a conflict of interest involving any matter to come before the board this evening is reminded they must recuse himself/herself from participating in any discussion on that matter.

**PLEDGE OF ALLEGIANCE**

**INTRODUCTORY STATEMENT**

Welcome to the Zoning Board of Adjustment. Let me briefly explain what we do. We are appointed by the Bergenfield Council to decide when a property owner should get relief from the strict application of the zoning code requirements. Typically, we hear two types of variances. The first is whether an applicant can vary from land restrictions including rules on sideline distance, height, and lot coverage. That is commonly called a bulk variance. The second is a use variance, where an applicant wants to use the property for a purpose not permitted under the zoning ordinance in that zone.

In these cases, the applicant has the burden of meeting certain criteria set forth in the Municipal Land Use Act. We carefully listen to the testimony, including objectors, and review all relevant documents. If a majority of the Board concludes that the applicant has satisfied those criteria, we must grant the requested variance.

**ROLL CALL**

**APPROVE MINUTES OF PREVIOUS MEETING – October 19, 2020**

Motion from board members to approve minutes.

**CORRESPONDENCE**

Request for extension – Dr. Jason Suss, 179 S. Prospect Avenue

**VERBAL COMMUNICATIONS**

Comments by members of audience on matters not on evening's agenda

**OLD BUSINESS**

**Resolutions**

- 1. Rami Glatt  
132 Highview Avenue  
Converting garage into living space
- 2. Leen Mosley  
46 Greenwich Drive  
Construct a sunroom
- 3. Jessica Xiong  
60 Portland Avenue  
Non permitted use to open a massage-body work salon

**Applications Carried Over From October Meeting**

- 1. 145 West Main Street, LLC  
145 West Main Street  
Change of use to a multi-family dwelling R-5 zone to RM zone
- 2. 34 Highgate Terrace LLC  
34 Highgate Terrace  
Build a new single house

**NEW BUSINESS**

Discussion of Review of RFQ's

**MOTION TO ADJOURN MEETING**

NOTE: No applications will be heard by the Board that were not on the agenda at the time of publication release to the newspaper or applications that do not comply with Article VIII title "Hearings contained in the By-Laws of the Bergenfield Zoning Board".

FILE NO. \_\_\_\_\_ DATE \_\_\_\_\_  
DATE OF HEARING \_\_\_\_\_ DISPOSITION \_\_\_\_\_

BOARD OF ADJUSTMENT  
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL  
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 145 West Main Street LLC

ADDRESS 492 Cedar Lane, Ste 519, Teaneck, NJ 07666

OWNER'S NAME Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02

OWNER'S ADDRESS \_\_\_\_\_ PHONE # \_\_\_\_\_ and 6.03)

FED I.D.# or S S \_\_\_\_\_

Applicant will be represented at public hearing by Matthew G. Capizzi, Esq.

TO THE BOARD OF ADJUSTMENT:  
Application is hereby made for a variation/appeal from the  
requirements of Section(s) See bulk table on site plan and/or from the  
requirements of the Scheduled Limiting Bulk of Buildings of  
the Zoning Ordinance in accordance with plans and  
specifications attached hereto and/or decision of Zoning  
Officer. The location of this property is at  
NUMBER: 145 West Main Street

DESIGNATED AS Block(s) 106 and Lot(s) 6.01-6.03  
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA \_\_\_\_\_ LOT FRONTAGE \_\_\_\_\_  
LOT COVERAGE xxx FRONT YARD x REAR YARD xxx SIDE YARD \_\_\_\_\_

TOTAL SIDE YARD \_\_\_\_\_ OTHER (specify) \_\_\_\_\_  
Max Impervious Lot Coverage, Min On Site Parking, Use,  
Max Building Height, and Min Front Yard Setback @ N Franklin Ave.

THE REASON FOR DESIRED VARIANCE/APPEAL  
At the time of the public hearing, a professional planner will testify as to the variance criteria

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## DESCRIPTION OF PROPERTY

1. SIZE OF LOT 150.41 x 96.20 2. SQUARE FEET IN LOT 15,215
3. SIZE OF PRESENT BUILDINGS x 4. STORIES 2
- x
5. TOTAL AREA 15,215 SQ. FT. 6. NUMBER OF ROOMS See Architectural Plan
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 7.54 %
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single family residence
- 
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES xxx (Sanitary Easement)  
NO        (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY         
Residential, Commercial and Public School
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE  
PREMISES? YES xxx NO        IF SO, DATE FILED         
DISPOSITION Major Subdivision
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING  
ORDINANCE? YES        NO xxx (IF SO, EXPLAIN)
- 
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?  
YES        NO X
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?  
YES        NO X
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER  
MUNICIPALITY? YES        NO X
-

## DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES xxx NO
17. SIZE OF NEW ADDITION        x        SQ. FT. See Site Plan  
       AREA        HEIGHT
18. SIZE OF NEW BUILDINGS 55 x 110 SQ. FT.  
       AREA 32.99ft HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS  
43.38% %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Multi-Family Building

-----  
 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,                      SS:  
COUNTY OF BERGEN

Menachem Stein, Owner of  
Lot 6.01 LLC and Lots 6.02 & 6.03 LLC of full age, duly sworn  
according to the law, deposes and says that he resides at  
492 Cedar Lane, Suite 519 in the Borough of Teaneck  
 in the County of Bergen in the State  
of New Jersey that he is the owner in fee of real  
property lying in the Borough of Bergenfield, known and  
designated as number 145 West Main Street and that he  
hereby authorizes Matthew G. Capizzi, Esq. to make the  
within application in his behalf and that the statements in  
the said application are true.

SWORN TO BEFORE ME THIS 7th  
DAY OF May 19 2020

Owner

~~Notary Public~~

Matthew Capizzi, Esq. - Attorney At Law

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.

BOROUGH OF BERGENFIELD  
APPLICATION FOR SITE PLAN APPROVAL

1. Applicant's name 145 West Main Street LLC Phone (H) \_\_\_\_\_  
(B) \_\_\_\_\_  
Applicant's address 492 Cedar Lane, Ste 519, Teaneck, NJ 07666
2. Name of present owner, if other than #1 \_\_\_\_\_  
Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02 and 6.03)
3. Location of property 145 West Main Street
4. Block(s) 106 Lot(s) 6.01-6.03 Zoning district R-5
5. Structural plans Yes X No    Front Elevation Yes X No
6. Name of development, if any \_\_\_\_\_
7. Are all lots to be approved owned by same person,  
corporation, or partnership? Yes xxx No
8. If answer to #7 is no, give names of all owners. \_\_\_\_\_  
\_\_\_\_\_
9. Proposed uses of land and buildings  
A. Multiple family dwelling structures Yes     
Number of dwelling units 16  
B. Commercial Use \_\_\_\_\_ C. Industrial Use \_\_\_\_\_  
D. Other \_\_\_\_\_
10. If 1, 2 or 9 is in the name of a partnership or  
corporation, list name and address of the attorney who  
will represent the applicant. Matthew G. Capizzi, Esq.  
11 Hillside Avenue, 2nd Fl., Tenafly, NJ 07670 Phone 201-266-8300
11. Name of architect/engineer/surveyor Michael Hubschman P.E., P.P.  
Hubschman Engineering Address 263A S. Washington St., Bergenfield, NJ 07621  
Phone 201-384-5666 Chris Blake Architect, 24 New Bridge Road, Bergenfield NJ, 07621
12. Name & Address of site planner if other than #11 \_\_\_\_\_ 201-816-9523  
Phone \_\_\_\_\_
13. Land area sq. ft. 15,215 Landscape area sq. ft. \_\_\_\_\_  
Impervious surface area sq. ft. 10,789
14. Building area sq. ft. 6,600 structure height 32.99ft  
stories 3
15. Parking spaces required 30 parking spaces  
provided 25



16. Parking space dimensions, Width 9 Length 18 Driveway  
aisle width \_\_\_\_\_ Angle of parking: Parallel 45  
60 90
17. Loading space(s) required NA Proposed loading  
spaces \_\_\_\_\_
18. Loading space dimensions Width \_\_\_\_\_ Length \_\_\_\_\_
19. Are any new signs proposed Yes \_\_\_\_\_ No xxx
20. Existing signs, None xxx Will Remove \_\_\_\_\_ To Remain  
Renovate \_\_\_\_\_
21. Are there any deed restrictions in force on this  
property? Yes \_\_\_\_\_ No xxx If yes, include a copy  
of the deed.
22. Is this or any part of this property in flood zone?  
Yes \_\_\_\_\_ No xxx
23. Does this property border any county road? Yes \_\_\_\_\_ No xxx
24. Are there presently any utilities to this property?  
Gas, xxx Electric, xxx Storm drains, \_\_\_\_\_  
Telephone, \_\_\_\_\_ Cable TV, \_\_\_\_\_ Sanitary Sewers, xxx
25. Is this property within 200' of any other municipality?  
Yes \_\_\_\_\_ No xxx
26. Are any variances required because of this application?  
Yes xxx No \_\_\_\_\_
27. If answer to #26 was yes, state all variances required.  
Use xxx Lot area \_\_\_\_\_ Lot frontage \_\_\_\_\_  
Front yard xxx Side yard \_\_\_\_\_ Rear Yard xxx  
Total side yard \_\_\_\_\_ Parking xxx Buffer \_\_\_\_\_  
Other Maximum Impervious Lot Coverage, Maximum Lot Coverage, Building Height, and  
and Minimum Front Yard Setback @ N Franklin Ave.
28. Has a previous variance application been filed on this  
property? Yes xxx No \_\_\_\_\_
29. Is this application filed because of existing zoning  
violation? Yes \_\_\_\_\_ No xxx

All questions must be answered or this application may be  
deemed to be incomplete.

I, certify the above information and documents accompanying  
this application are true. (Willfully false statements are in  
violation of the law).

X [Signature] / \_\_\_\_\_ / \_\_\_\_\_  
Signature of Applicant Date Signature of Owner if Date  
other than applicant



## BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE  
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.  
(201) 387-4055 EXT. 1-4092  
FAX: (201) 385-7376

May 28, 2020

145 W. Main Street, LLC  
145 W. Main Street  
Bergenfield, NJ 07621

RE: Multi-family Dwelling

Dear 145 W. Main Street, LLC

Your application for change of use to a multi-family dwelling R-5 Zone to RM Zone has been denied for the following reasons:

1. Change of use from R-5 to RM Zone.
2. Maximum density 12 units per acre 43,560 sq. feet. Proposed 16 units on 14,469 sq. feet.
3. Minimum front yard setback R-5 & R-6 25 sq. feet. Proposed front yard 22.9 sq. feet.
4. Minimum rear yard setback R-5 & R-6 25 sq. feet. Proposed rear yard 20 sq. feet.
5. Maximum lot coverage allowed R-6 over 6,000 sq. feet or 30%. Proposed lot coverage 43.38 %.
6. Maximum total improved lot coverage R-6 over 6,000 sq. feet or 35%. Proposed lot coverage 70.91%
7. Required multi-family dwelling units set back 35 sq. feet from front property line and a least 25 sq. feet from any other property line or from curb to street. (see 186-57 yards). Proposed 22.9 sq. feet front yard, 15 sq. feet from both side yards.
8. 186-55 design requirements, site plan for any multi-family development shall not be less than 20,000 sq. feet. Proposed 14,469.44 sq. feet.
9. Minimum required parking for occupants only 32 spaces not including visitor spaces. Proposed 25 parking spaces including two (2) handicap spaces.



**BOROUGH OF BERGENFIELD**

198 NORTH WASHINGTON AVENUE  
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.

(201) 387-4055 EXT. 1-4092

FAX: (201) 385-7376

January 27, 2020

Matthew G. Capazzi, Esq

11 Hillside Avenue, second floor.

Tenafly, NJ 07670

RE: Multi-Family Residential Building, 145 W. Main St.

Dear Mr. Capazzi,

Your application to build a multi-family residential building has been denied for the following reasons:

1. A multi-family building is not permitted in the R-6 zone.
2. Front yard setback required is 25 sq. feet where 20.95 sq. feet is proposed (W. Main).
3. Rear yard setback required is 25 sq. feet where 18 sq. feet is proposed.
4. Maximum building coverage permitted is 30% where 41.24 % is proposed.
5. Maximum building height permitted is 30 feet where 36.4 feet is proposed.
6. Maximum number of stories permitted is 2 where 3 are proposed.
7. Maximum improved lot coverage permitted is 35% where 75.16% is proposed.
8. Number of parking spaces required is 29 where 15 are proposed.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

A handwritten signature in black ink, appearing to read "Harry Hillenius", is written over a horizontal line.

Harry Hillenius  
Zoning Officer

**Borough of Bergenfield**  
**Site Plan Committee Minutes**  
**February 10, 2020**

**1. Call to Order**

The meeting was called to order at 7:00 PM

**2. Roll Call:**

<u>Richard Morf</u>	<u>Robert Rivas</u>		
<u>Gerard Naylis</u>		<u>John Pampaloni</u>	<u>Michael Ravenda</u>
<u>Perry Sulich</u>	<u>Joseph Scalora</u>		
<u>Robert Giacomelli</u>	<u>R Mader</u>		

**3. Item 1.**

JAH Realty Association

Site Address: 205-207 North Washington Avenue

Seeks to convert first floor office space into 4 - 1 bedroom apartments.

Attorney: Matthew Capizzi  
11 Hillside Avenue  
Tenafly, NJ 07670  
201-266-8300

Architect: Chris Blake Architect  
24 New Bridge Road  
Bergenfield, NJ 07621  
201-816-9523

Engineer: Hubschman Engineering  
263 A. South Washington Avenue  
Bergenfield, NJ 07621  
201-384-5666

Owner was represented by Mr. Capizzi and Mr. Hubschman

Mr. Capizzi introduced the project:

- \* Convert existing first floor office space into 4 – 1 bedroom apartments,  
The building currently has 4 – 1 bedroom apartments on the second floor and  
Office space on the first floor.
- \* The office space has been vacant for years
- \* The new use will greatly reduce the existing parking non-conformity
  - existing use requires 25.8 spaces
  - proposed use will require 14.4 spaces
  - there are 12 spaces currently
- \* The owner will continue to be responsible for garbage/recycling and snow removal

4. Item 2.

145 West Main Street LLC

Menachem Stein

492 Cedar Lane, Ste. 519

Teaneck, NJ 07666

Site Address 145 West Main Street

Seeks to build a 15 unit apartment building: 5 – 1 bedroom units 10- 2 bedroom units

Attorney: Matthew Capizzi

11 Hillside Avenue

Tenafly, NJ 07670

201-266-8300

Architect: Chris Blake Architect

24 New Bridge Road

Bergenfield, NJ 07621

201-816-9523

Engineer: Hubschman Engineering

263 A S. Washington Avenue

Bergenfield, NJ 07621

201-384-5666

Mr. Capizzi introduced the project:

- \* His client purchased 3 lots on West Main Street
- \* Seeking to build a 15 unit apartment building
- \* Seeking use and several bulk variances

Mr. Hubschman went over site plan/architectuals:

- \* 15 unit building - 3 floors- 10- 2 bedroom units, 5- 1 bedroom units
- \* Entrance only from west Main
- \* Entrance/exit from N. Franklin
- \* Drive under rear of building to parking at back of property
- \* Existing 12' sewer easement will remain
- \* Stormwater retention system is under rear parking lot

Board Comments:

Mr. Scalora:

- Concerned about the 81 trees being planted around perimeter.
- Questioned the size of the rooms and the ceiling height in relation to the height of building

Mr. Hubschman:

- Landscaping can be adjusted
- Height variance is only needed because of slope of property in the rear

Mr. Naylis:

- Project exceeds density, from 3 – 1 family homes to 15 units

Mr. Morf:

- Entire proposal is too much, parking, height, set backs, lot coverage all problems
- Too big for lot size

- Traffic problems with the school across the street
- Not permissible in R-5 zone
- Worried about setting a precedent

**Mr. Naylis:**

- Planning board changed the height requirements for B1 & B2 trying to push this type of development into those zones
- That is where this building belongs

**Mr. Ravenda:**

- Try and buy 2 rear lots to make the project at least somewhat compliable.
- Concerned about the traffic and the school

**Mr. Capizzi:**

- The school traffic and street closing will have to be resolved because the 2 rear lots have been approved

**Mr. Morf:**

- Single family homes should be built

**Mr. Capizzi:**

- The area is currently mixed use

**Mr. Morf:**

- As existing businesses leave, the property can only be developed as residential

**Mr. Naylis:**

- The project is too big and will be knocked down as it is.

**Mr. Capizzi:**

- Can we downsize it
- What about affordable housing units

**Mr. Morf:**

- Cut the top floor off
- Or remove 1 quadrant completely
- Eliminating 4 2 bedrooms and 2 1 bedroom units

**Mr. Rivas:**

- Removing quadrant will allow entrance and exit on West Main
- No access from N Franklin

**Mr. Perry:**

- Question impact on school by adding 15 units
- Is there an elevator or walk up

**Mr. Capizzi:**

- No elevator

**Mr. Ravenda:**

- The parking is a major issue, the project needs to be reduced in size
- Concerned about school crossing, is there a patrolman at the corner?

**Mr. Mader:**

- There is only a crossing guard at that corner

**Mr. Giacomelli:**

- How are you going to handle garbage
- Where are you going to put the bins
- Snow will have to be trucked off of site

**Mr. Naylis:**

- The fire trucks will operate from N. Franklin and West Main St. no need to fit on property
- Questioned attic construction and space

- Suggested installing a dry sprinkler system for the attic space piped to a FDC at edge of property. The owner can still use a 13r system but the attic would be covered by the dry system.

**Mr. Pampaloni:**

- The plan called for the sewer to be tied into the 24" line in the existing easement.
- This line carries 40% of Bergenfield's sewage and ties directly into a line that carries 90% of the sewage.
- This line during storms becomes full and it takes days for it drain.
- The building will not drain into it during those times
- Tie in building sewer into 8" line on West Main which is higher than the 24" line

**Mr. Capizzi:**

- For the project to work, even if they scale it back, they will still need relief for:
  - o Height
  - o Parking
  - o Setbacks
  - o Lot coverage

**Board Recommendations:**

- Project needs to be reduced dramatically:
  - o Density
  - o Height
  - o Lot coverage
- Reduce overall building by 30%
- Relocate sewer to West Main Street
- Ingress/egress only from West Main Street
- Eliminate any access to N Franklin

Meeting Adjourned at 8:11PM

# GENERAL NOTES

- TOTAL LOT AREA = 15,215 S.F. (0.349 Ac.)
- ELEVATIONS BASED ON NGVD 1929.
- LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL DAMAGED CURB AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- EXISTING IMPERVIOUS AREA = 2,976 S.F.  
PROPOSED IMPERVIOUS AREA = 10,789 S.F.  
TOTAL INCREASE = 7,813 S.F.
- CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
- APPLICANT AND/OR CONTRACTOR SHALL CONTACT MR. ED RAVETTINE, DEPARTMENT OF PUBLIC WORKS INSPECTOR, AT (201) 336-8815 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- ANY PROPOSED PLANTINGS ALONG THE PROPERTY FRONTAGE WITHIN THE SIGHT TRIANGLE AREA SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG KINKERBOCKER ROAD.
- ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING SERIES 4,000 TYPE XI DESIGNATION PER ASTM.
- ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEWER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND AMENDMENTS BY THE A.A.O.T. AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUIDE RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & CULVERTS AND ROADWAY CONSTRUCTION OMISSION AND/OR CORRECTIONS DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- COUNTY SIGHT DISTANCE CRITERIA -- THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHOULD BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCES REFLECT MAXIMUM CLEAR SIGHT DISTANCE.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-43). A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- ALL EXISTING OR PROPOSED SIDEWALKS, CURBING AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE DESIGN/CONSTRUCTION OF THE HANDICAPPED RAMP AND THE TYPE OF TRUNCATED DOME SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE. PURSUANT TO TITLE 27:15-8, THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURBLINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPED EIGHT DISTANCE ALONG THE COUNTY ROAD.
- CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S "DESIGN AND CONSTRUCTION PLAN STANDARDS."
- ALL PAVEMENT MARKINGS/STRIPING WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMPELL FOUNDRY PATTERN #2617), AND "N-ECO" CURB PIECES (CAMPELL FOUNDRY PATTERN #2618). ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUE 40A:11-18.
- ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- APPLICANT SHALL PROVIDE THE COUNTY WITH REVISED DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.

I CONSENT TO THE FILING OF THIS SITE PLAN.

ORDER DATE WORKSHEET ENGINEER DATE  
APPLICANT DATE CONSTRUCTION OFFICIAL DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING  
LOT 6.01, 6.02 & 6.03 BLOCK 106 ZONE R-5  
DATE: SCALE: 1"=20'  
APPLICANT: 145 WEST MAIN STREET, LLC  
ADDRESS: C/O MATTHEW CAPIZZI, ESQ.  
11 HILLSIDE AVENUE, 2ND FL.  
TENNY, NJ 07670

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

VICAR J. HUBSCHMAN, P.E.  
N.J.P.E. No. 29497  
TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

By: CHAIRMAN DATE  
SECRETARY DATE

APPROVED BY THE COUNTY PLANNING BOARD  
COUNTY OF BERGEN, NEW JERSEY

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

WORKSHEET ENGINEER DATE  
CONSTRUCTION OFFICIAL DATE

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

BOROUGH ENGINEER

CONSTRUCTION OFFICIAL

OCCUPANCY PERMIT ISSUED

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

TAX COLLECTOR DATE

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.

BLOCK 105  
LOT 2  
BOARD OF EDUCATION

BLOCK 110

BLOCK 109

## DRAWING LIST:

- 3821-1 SITE PLAN
- 3821-2 GRADING, DRAINAGE AND UTILITY PLAN
- 3821-3 SOIL EROSION AND SEDIMENT CONTROL PLAN; DETAILS
- 3821-4 STORMWATER MANAGEMENT DETAILS
- 3821-5 LIGHT AND LANDSCAPING PLAN; DETAILS
- 3821-6 EXISTING CONDITIONS PLAN

ROBERT J. MUELLER  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC No. 57208

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. No. 29497 N.J.P.P. No. 3200

0 20 40  
SCALE: 1"=20'

## ZONING NOTES

R-5 ZONE  
PROPOSED MULTI-FAMILY DWELLING

REQUIREMENT	PROPOSED
MIN. LOT AREA	5,000 S.F.
MIN. LOT WIDTH	50 FT.
WEST MAIN STREET	50 FT.
NORTH FRANKLIN AVENUE	50 FT.
MAX IMP. LOT COVERAGE	40%
MAX LOT COVERAGE	40%
MAX BUILDING HEIGHT	30 FT./ 2 STY.
MIN. FRONT YARD	15 FT.
WEST MAIN STREET	22.90 FT.
NORTH FRANKLIN AVENUE	25 FT.
MIN. SIDE YARD (ONE)	5 FT.
MIN. SIDE YARD (BOTH)	10 FT.
MIN. REAR YARD	25 FT.
MIN. PARKING	30 SPACES
	25 SPACES *

\* VARIANCE REQUIRED.

## PROPOSED BLDG. COVERAGE CALC'S

FOOTPRINT	= 1,118 S.F.
OVERHANG	= 5,482 S.F.
TOTAL IMP. COV.	= 6,800 S.F./15,215 S.F. = 43.38%

## PROPOSED IMPERVIOUS COVERAGE CALC'S

LOT COVERAGE	= 5,800 S.F.
PARKING & DRIVEWAY	= 3,929 S.F.
WALKS	= 260 S.F.
TOTAL IMP. COV.	= 10,789 S.F./15,215 S.F. = 70.91%

## PARKING DATA

(12) - 1 BEDROOM UNIT 12 x 1.8	= 21.6 SPACES
(4) - 2 BEDROOM UNIT 4 x 2.0	= 8.0 SPACES
TOTAL	= 29.6 SPACES REQUIRED
	= 30 SPACES REQUIRED
	25 SPACES PROVIDED

## REFERENCES

- A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 9837.
- BOROUGH OF BERGENFIELD TAX MAP.

## SITE PLAN

LOTS 6.01, 6.02 & 6.03  
PROPOSED RESIDENTIAL BUILDING  
No. 145 WEST MAIN STREET  
BOROUGH OF BERGENFIELD, BERGEN COUNTY  
APPLICANT: 145 WEST MAIN STREET, LLC  
C/O MATTHEW CAPIZZI, ESQ.  
11 HILLSIDE AVENUE, 2ND FL.  
TENNY, NJ 07670

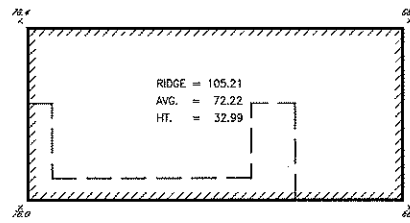
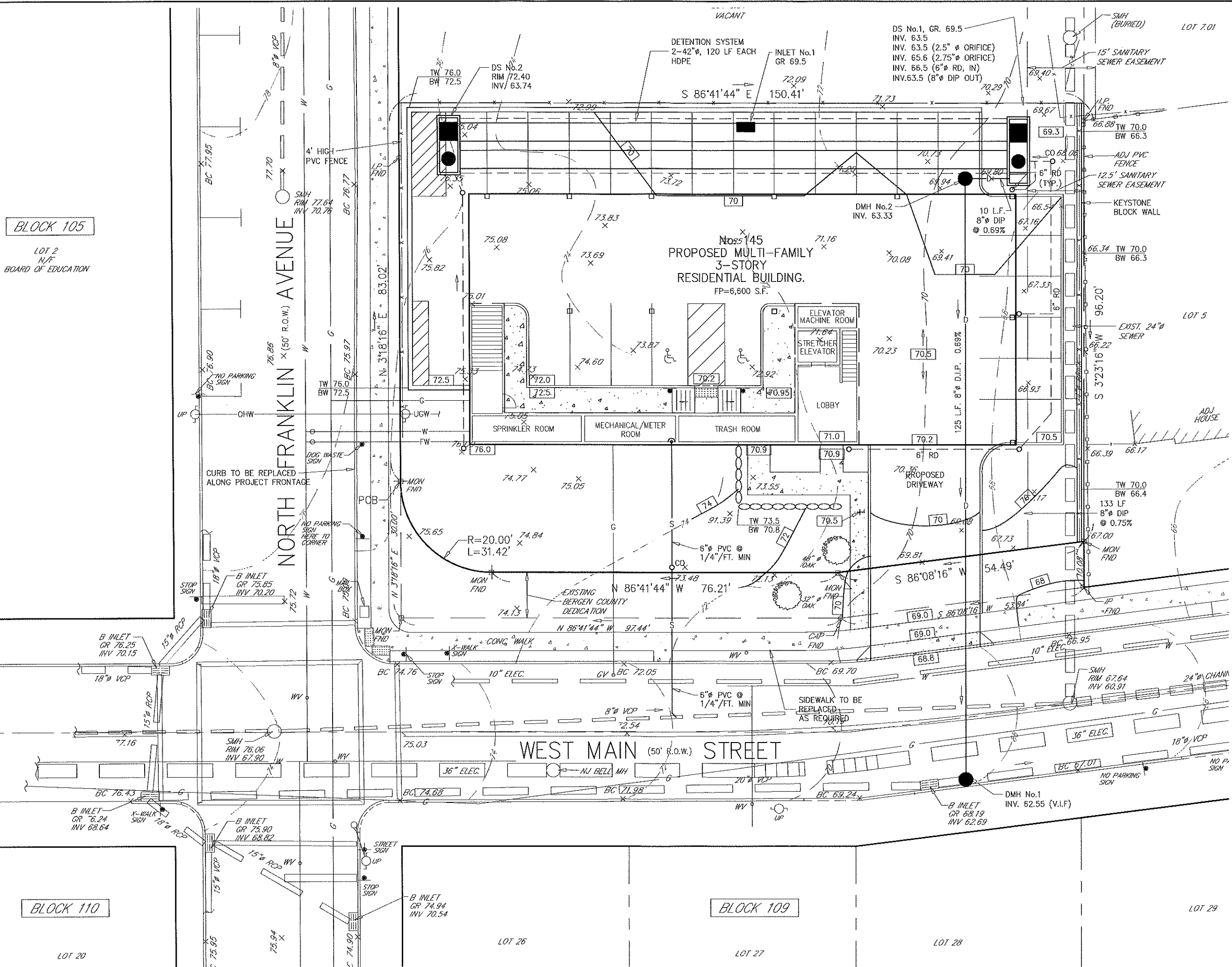
DRAWN BY: B.W.  
CHKD BY: MJH  
SCALE: 1"=20'  
DRAWING NO. 3821-1

HUBSCHMAN  
ENGINEERING, P.A.



BLOCK 105

LOT 2  
N/F  
BOARD OF EDUCATION



BUILDING HEIGHT  
(EX. GR. @ 4' OFF CORNER)

REVISIONS		DATE	BY
1	HOBBED BUILDING & SITE LAYOUT	5-1-20	N.M.
2	REVISIONS		

GRADING, DRAINAGE & UTILITY PLAN	
LOTS 6.01, 6.02 & 6.03	
PROPOSED RESIDENTIAL BUILDING	
No. 145 WEST MAIN STREET	
BOROUGH OF BERGENFIELD BERGEN COUNTY	
APPLICANT: 145 WEST MAIN STREET, LLC	
C/O MATTHEW CAPIZZI, ESQ.	
11 HILLSIDE AVENUE, 2ND FL.	
TENAFLY, NJ 07670	

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

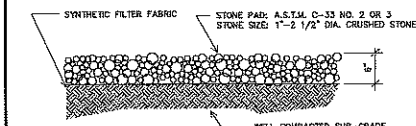
DRAWN BY: B.W.  
CHKD BY: M.J.H.  
SCALE: 1"=10'  
DRAWING NO.

BERGEN COUNTY SOIL CONSERVATION DISTRICT  
SOIL EROSION AND SEDIMENT CONTROL NOTES

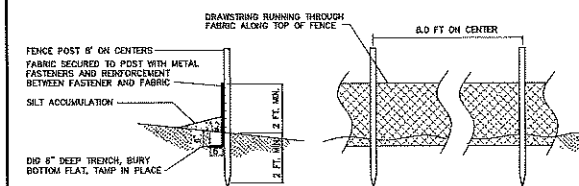
1. All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
2. Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic, shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with erodible straw at a rate of 2 lbs per 100 sq. yds. mulch shall be applied by approved methods (i.e. peg and straw, mulch netting, or liquid mulch blend).
3. Immediately following initial disturbance or major grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 lbs per 100 sq. yds. according to the NJ Standards.
4. Stabilization Specifications:
  - A. Temporary Seeding and Mulching:
    - Ground Conditions - Applied uniformly according to soil test recommendations.
    - Fertilizer - Apply 10 lbs./1,000 sq. ft. of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
    - Seed - perennial ryegrass 100 lbs./acre (2.0 lbs./1,000 sq. ft.) or other approved species, plant between March 1 and May 15 or between August 15 and October 1.
    - Mulch - Unsettled stone or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or liquid mulch blend).
  - B. Permanent Seeding and Mulching:
    - Topsoil - A uniform application to an average depth of 5", minimum of 4" if travel in place is required.
    - Ground Conditions - Applied uniformly according to soil test recommendations.
    - Fertilizer - Apply 10 lbs./1,000 sq. ft. of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
    - Seed - Turf type tall fescue (blend of 3 cultivars) 350 lbs./acre (8.5 lbs./1,000 sq. ft.) or other approved species, plant between March 1 and October 1 (current seeding regime required).
    - Mulch - Unsettled stone or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or liquid mulch blend).
5. The site shall at all times be graded and maintained such that all stormwater runoff is directed to soil erosion and sediment control facilities.
6. Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
7. Slopesides are not to be located within 50' of a floodplain, slope, roadway or drainage facility. The base of all slopesides shall be certified by a geologic engineer before or after construction.
8. A crushed stone, vehicle wheel-clearing blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2 1/2" crushed stone, 6" thick, will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
9. Maximum side slope of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
10. Driveways must be stabilized with 1" - 2 1/2" crushed stone or surface prior to final construction.
11. All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-way, will be removed immediately. Paved roadways must be kept clear of all debris.
12. Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
13. Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
14. Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
15. Dust shall be controlled via the application of water, sodium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
16. Time to remove construction area to be protected with a suitable fence installed at the site line or beyond in accordance with Section 9-1 of the NJ Standards.
17. The project owner shall be responsible for any erosion or sedimentation that may occur before stormwater outlets or off-site as a result of construction of the project.
18. Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approved prior to implementation in the field.
19. A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
20. The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance: Bergen County SOI, 700 Parkersburg Road, Suite 100, Clarks Summit, NJ 07066, Tel. 201-261-4400, Fax: 201-261-7923.
21. The Bergen County Soil Conservation District may request additional measures to minimize on or off-site erosion problems during construction.
22. The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all reports of compliance. All site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

1. INSTALL 2" x 6" BRACING ROD AS CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION
3. DEMOLISH EXISTING BUILDING
4. READING TOPSOIL AND SODS/GRASS
5. PROVIDE ROUGH GRADING FOR SITE
6. EXCAVATE FOR NEW BUILDING, DRIVEWAY, AND UTILITIES
7. CONSTRUCT NEW BUILDING, PROVIDE PAVEMENT BASE
8. COURSE ON DRIVEWAY
9. PROVIDE FINAL CHANGING TOPSOIL, REPLACEMENT, AND LANDSCAPING (ULTIMATELY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE)
10. PROVIDE FINAL PAVING
11. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL SERVICE



STABILIZED CONSTRUCTION ACCESS



SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL



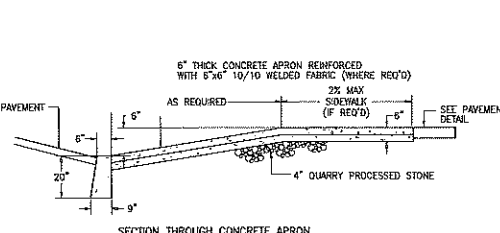
R3-1 24" x 24"



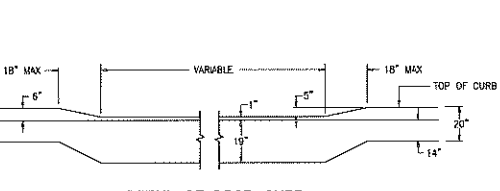
R1-1 30" x 30"

SIGN NOTES:

- 1) HANDICAP SIGN TO BE MOUNTED 5' HIGH FROM THE GROUND TO THE BOTTOM OF THE SIGN.
- ALL TRAFFIC CONTROL SIGNS MUST CONFORM IN FACE DESIGN (TYPE VI) REFLECTIVE SHEETING AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. D.O.T., FEDERAL HIGHWAY ADMIN. 2000, AS REVISED, SPECIFICALLY, REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH TYPE X (DIAMOND GRADE CUBED) WIDE-ANGLE HIGH PERFORMANCE PRISMATIC RETRO-REFLECTIVE SHEETING SERIES 4090 PER 3M OR EQUIVALENT VISUAL PERFORMANCE.

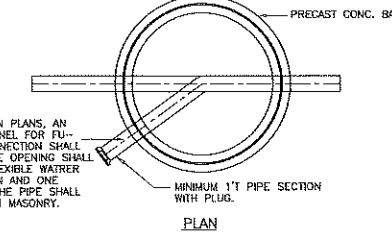
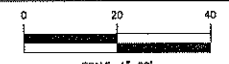


SECTION THROUGH CONCRETE APRON

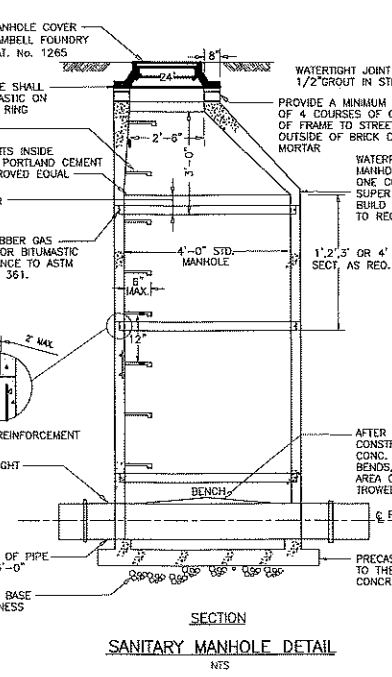


DETAIL OF DROP CURB

SOIL EROSION & SEDIMENT CONTROL PLAN



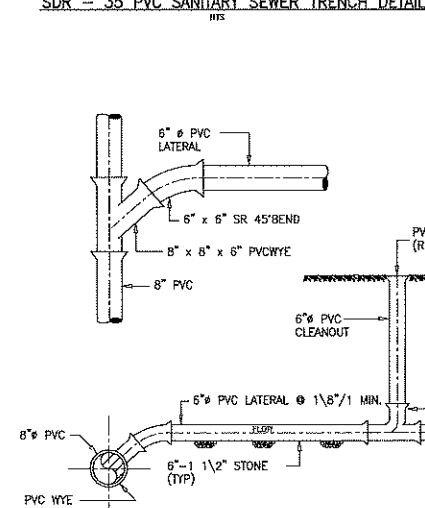
PLAN



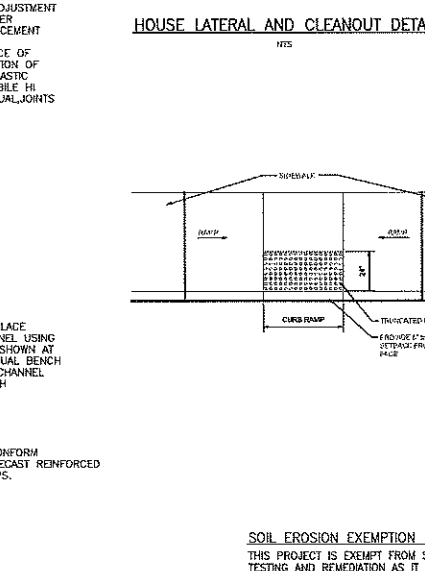
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SANITARY MANHOLE DETAIL

SDR - 35 PVC SANITARY SEWER TRENCH DETAIL

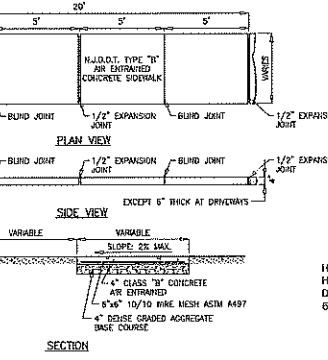


HOUSE LATERAL AND CLEANOUT DETAIL



SECTION

HOUSE LATERAL AND CLEANOUT DETAIL



SECTION

SIDEWALK DETAIL

NTS

SIDEWALK GENERAL NOTES

- 1) SUBGRADE IS TO BE IN A MANNER SUITABLE TO THE MUNICIPAL ENGINEER.
- 2) EXPANSION JOINTS ARE TO BE 1/2" WIDE AND FILLED WITH PRE-FORMED HOT JOINT ADHESIVE TYPE JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE 1/4" BELOW THE TOP OF THE SURFACE. EXPANSION JOINT SHALL BE LOCATED 10' ON CENTER.
- 3) BURD JOINTS ARE TO BE SURFACE GROOVES CUT INTO SIDEWALK 1/2" DEEP AND SHALL BE LOCATED 10' ON CENTER.
- 4) CONTRACTOR SHALL COMPLY WITH SECTION 607.06 OF THE NJDOT SPECIFICATION.
- 5) FOR SIDEWALK SECTIONS WIDER THAN 5', THE APPROXIMATE SHALL PROVIDE THE SIDEWALK ENGINEER WITH A DETAIL SHOWING JOINT PATTERN (BOTH BURD AND EXPANSION JOINTS) FOR APPROVAL.
- 6) ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL, HAVE A RADIUS OF 1/4" R.O.I.
- 7) THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY WITH FLATS AND STRAIGHT EDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
- 8) CONCRETE SHALL BE STRUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLATS AND STRAIGHT EDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
- 9) ALL CONCRETE SURFACES SHALL BE TREATED WITH A CONCRETE CURING AND SEALING COMPOUND CONFORMING WITH SECTION 605.03 CURING MATERIALS, NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2001.

NOTES

- 1) INITIAL BACKFILL AND BEDDING MATERIAL SHALL BE SOIL AGGREGATE DESIGNATION 1-B CONFORMING TO THE REQUIREMENTS OF ARTICLE 100-10 OF THE STANDARD SPECIFICATIONS 1989 SUPPLEMENT OR STONE CRUSHINGS TO CONFORM WITH A.S.T.M. DESIGNATION M-43-54 (1974) (A.S.T.M. DESIGNATION D444-54, SIZE NO. 6, 1/4" TO 3/8" (2.0 mm to 9.5 mm) CLEAN, FREE FLOWING AND SHALL MEET ALL A.S.T.M. C-33 SPECIFICATIONS FOR QUALITY AND SOUNDNESS.
- INSTALL CLASS 52 D.P.F. WHEN DEPTH OF INSTALLATION EXCEEDS 20"

PAVING DETAIL (FOR DRIVEWAY)



PAVING DETAIL (FOR DRIVEWAY)

NTS

PAVING DETAIL (FOR DRIVEWAY)

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PAVING DETAIL (FOR DRIVEWAY)

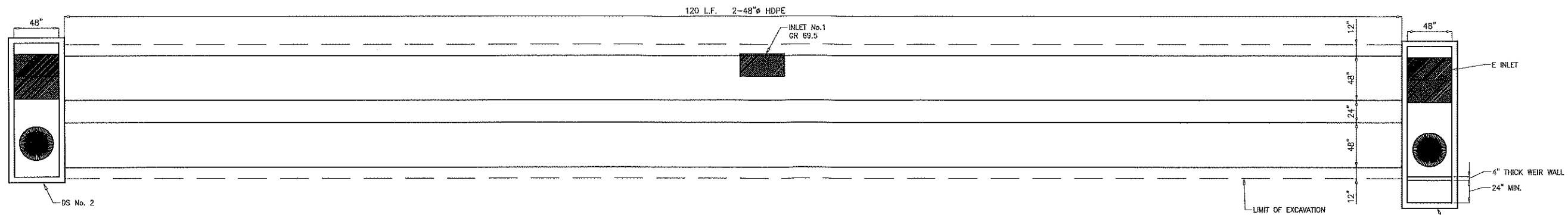
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PAVING DETAIL (FOR DRIVEWAY)

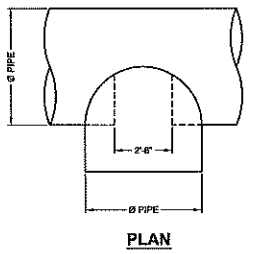
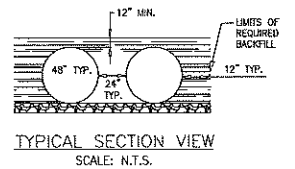
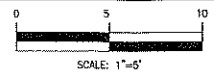
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PAVING DETAIL (FOR DRIVEWAY)

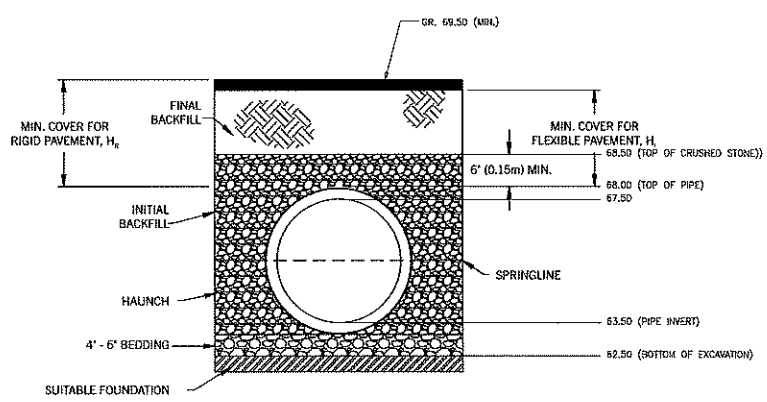
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DENTENTION SYSTEM PLAN

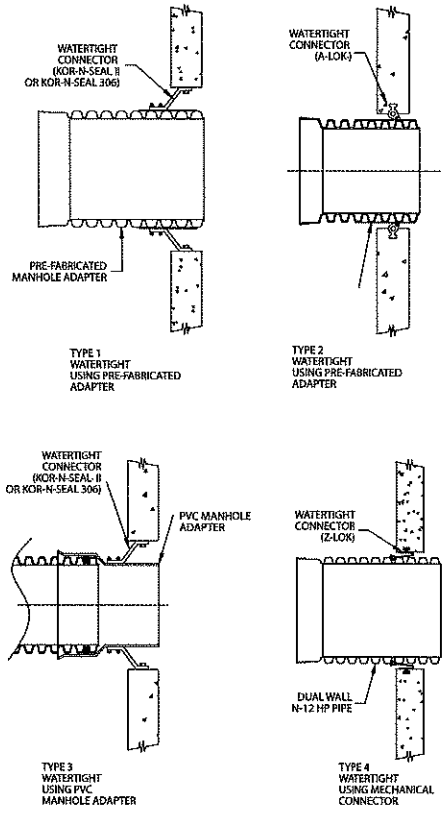


FRONT  
TYPICAL MANWAY DETAIL  
SCALE: N.T.S.

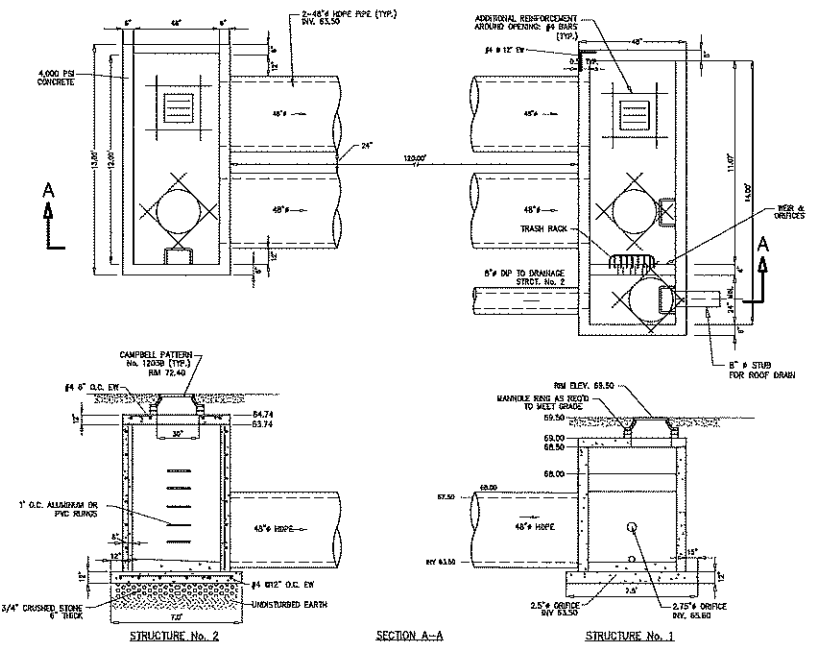


FILL AS SPECIFIED BY DESIGN ENGINEER  
STRUCTURAL BACKFILL (COMPACTED CLASS I, II, OR III MATERIAL)  
TOTAL MINIMUM COVER INCLUDES 6" OF STRUCTURAL BACKFILL ABOVE THE PIPE CROWN AND THE FINAL FILL.

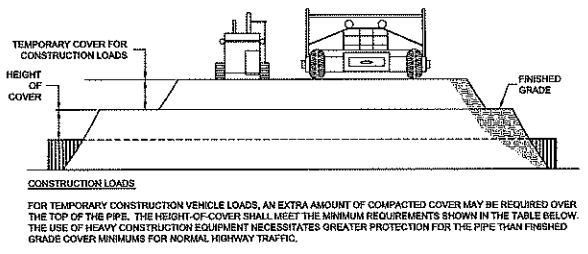
HDPE PIPE BACKFILL DETAIL  
NOT TO SCALE



HDPE PIPE CONNECTION TO MANHOLE DETAIL  
NOT TO SCALE

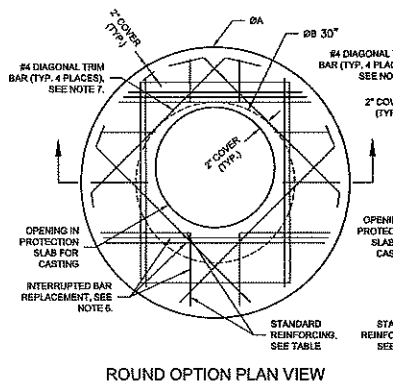
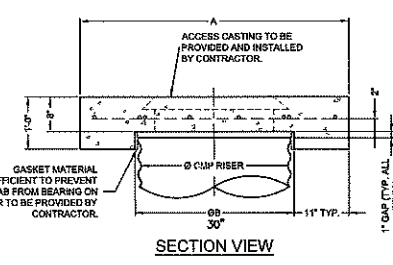


SECTION A-A  
DETENTION SYSTEM DETAIL



FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

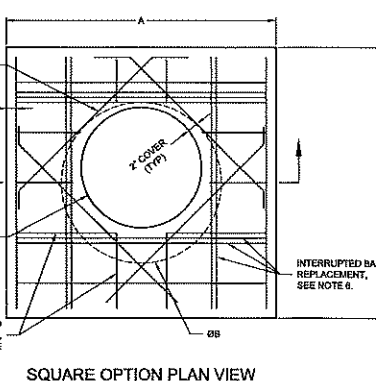
Temporary Cover Requirements for Light Construction Traffic			
Type of Vehicle	Vehicular Load at Surface psi (kPa)	Temporary Minimum Cover, in. (mm) for:	
		4" - 48" (100-1200mm) diameters	54" - 60" (1350 and 1500mm) diameters
Semi-tractor <sup>1</sup>	75 (517)	9 (230)	12 (300)
Loaded pick-up truck <sup>2</sup>	50 (345)	6 (150)	9 (230)
Skid steer loader <sup>3</sup>	25 (172)	3 (80)	6 (150)



ROUND OPTION PLAN VIEW

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
30"	4'-0" X 4'-0"	24"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
48"	4'-0" X 4'-0"	24"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
60"	4'-0" X 4'-0"	24"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
72"	4'-0" X 4'-0"	24"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
84"	4'-0" X 4'-0"	24"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
96"	4'-0" X 4'-0"	24"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530

\*\* ASSUMED SOIL BEARING CAPACITY

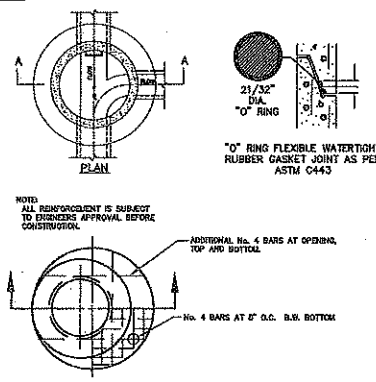


SQUARE OPTION PLAN VIEW

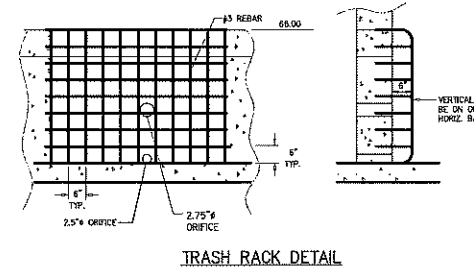
NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS20.
- EARTH COVER = 1' MIN.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN.
- TRIM OPENING WITH DIAGONAL 84 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

MANHOLE CAP DETAIL



- NOTES:
- THIS MANHOLE MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK & POINTED.
  - PROVIDE 7/8" DIA. X 7" X 12" ALUMINUM LADDER RUNGS, 12" O.C.
  - WHEN DEPTH IS GREATER THEN 12" THE WALLS SHOULD BE EITHER 8" CONCRETE OR 8" CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
  - WHEN PRECAST STRUCTURES ARE USED, CLEAN STONE SHALL BE PLACED BENEATH STRUCTURE TO A DEPTH OF 6".



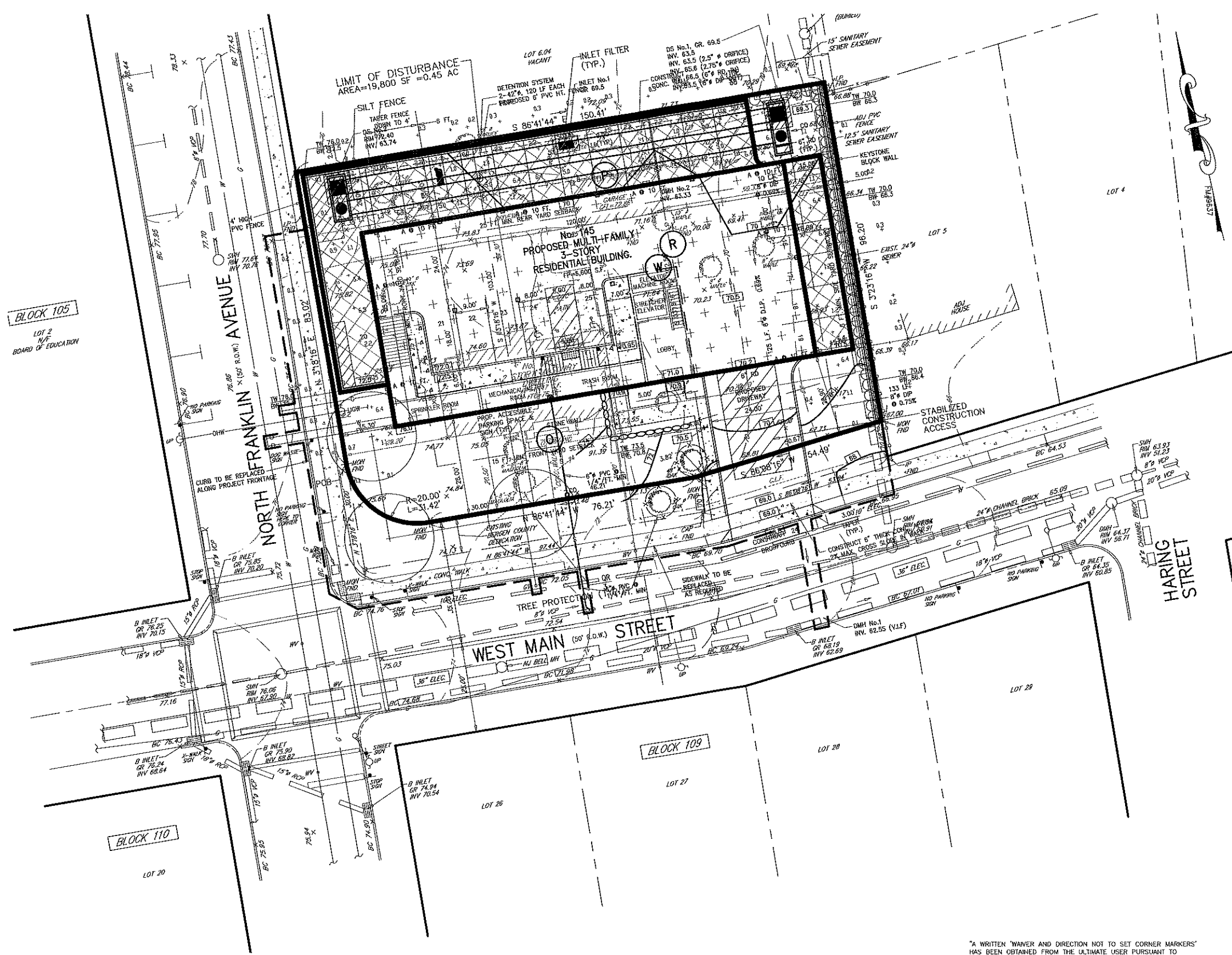
TRASH RACK DETAIL

STORMWATER MANAGEMENT DETAIL			
1	MODIFIED BUILDING & SITE LAYOUT	5-1-20	H.M.
NO.	REVISIONS	DATE	BY
LOTS 6.01, 6.02 & 6.03 PROPOSED RESIDENTIAL BUILDING No. 145 WEST MAIN STREET BOROUGH OF BERGENFIELD BERGEN COUNTY APPLICANT: 145 WEST MAIN STREET, LLC C/O MATTHEW CAPIZZI, ESQ. 11 HILLSIDE AVENUE, 2ND FL. TENAFLY, NJ 07670			

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497

HUBSCHMAN ENGINEERING, P.A.  
DRAWING NO. 3821

DRAWN BY: B.N.  
CHKD BY: M.H.  
SCALE: AS  
DRAWING NO. 3821



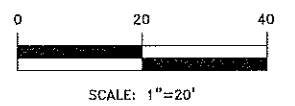
**ZONING NOTES**

R-5 ZONE	
MIN. LOT AREA	5,000 S.F.
MIN. LOT WIDTH	50.00 FT.
MAX. IMPROVED LOT COVERAGE	40%
MAX. LOT COVERAGE	40%
MAX. BUILDING HEIGHT	2 STY / 28FT
MIN. FRONT YARD	15/25 FT.
MIN. SIDE YARD	ONE 5.00 FT.
MIN. REAR YARD	BOTH 10.00 FT.
	25.00 FT.

NOTE: ELEVATIONS BASED ON NGVD 1929

**REFERENCES**

- 1) A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 9637
- 2) BOROUGH OF BERGENFIELD TAX MAP



"A WRITTEN 'WAIVER AND DIRECTION NOT TO SET CORNER MARKERS' HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14(C45:8-38.3) AND N.J.A.C. 13:40-S.1(d). THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITION FOUND AT, AND AS OF DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE


SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD FACILITIES, WETLANDS OR ENVIRONMENTAL RESTRICTIONS OTHER THAN

"SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP WAS PREPARED FOR A SPECIFIC TRANSACTION INVOLVING ONLY THE PARTIES "CERTIFIED TO" ON THIS MAP. ONLY COPIES OF THIS MAP BEARING THE EMBOSSED SEAL OF ROBERT J. MUELLER ARE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SURVEYOR OWNERS.

TAX LOT 6IN BLOCK 106

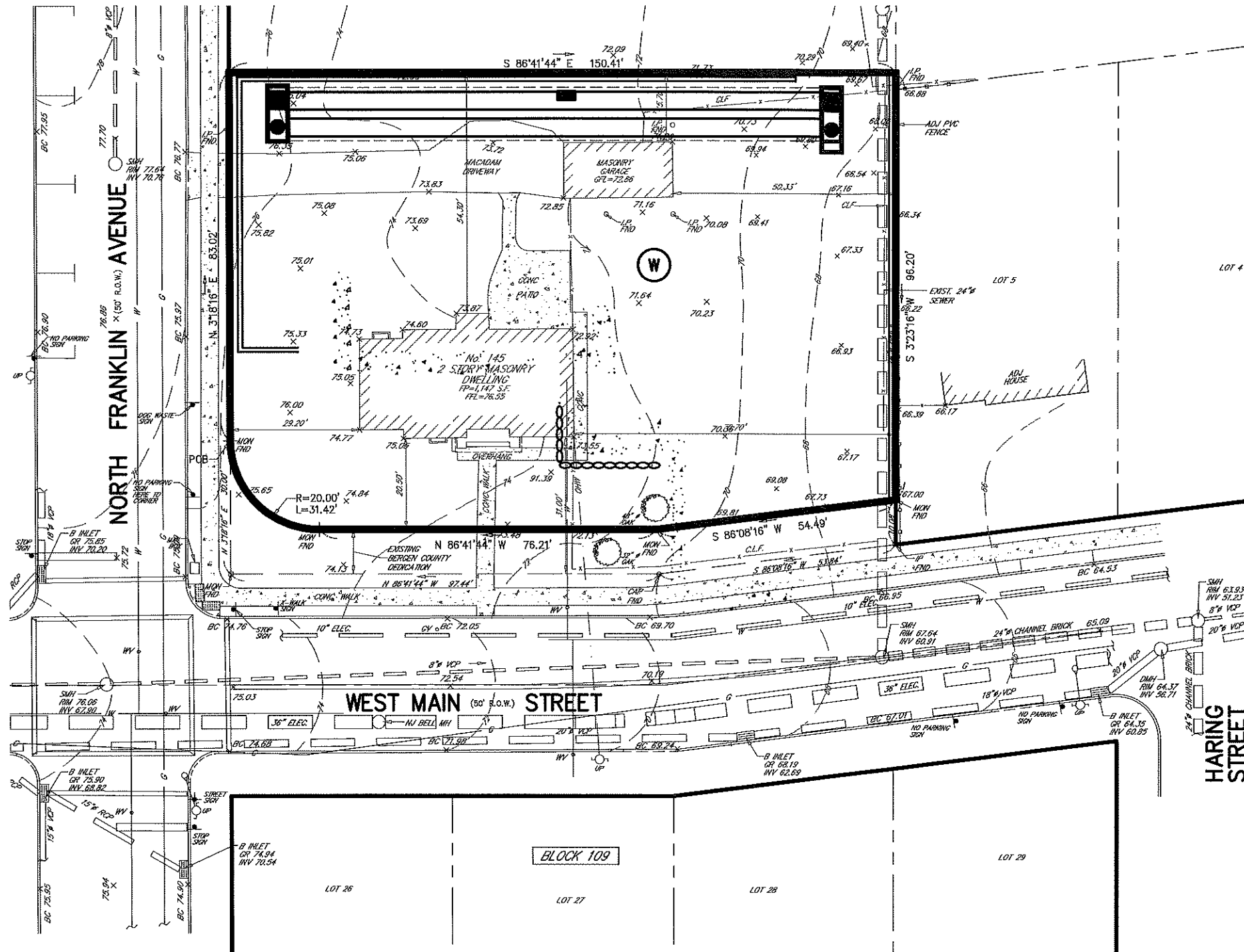
TOPOGRAPHIC SURVEY

BOROUGH OF BERGENFIELD  
BERGEN COUNTY, NEW JERSEY

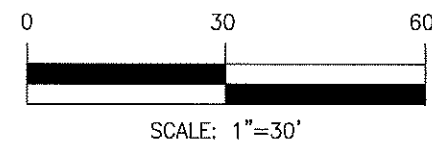
HUBSCHMAN ENGINEERING  
ENGINEERS LAND SURVEYORS PLANNERS  
263A S. WASHINGTON AVE., BERGENFIELD  
NEW JERSEY 07621 (201) 384-5666

ROBERT J. MUELLER, P.L.S.  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. 37206

REV.	DWN. MZ.	9-19-19	JOB No.
	CHK'D. RJM	SCALE: 1"=20'	3821



EXISTING DRAINAGE AREAS			
Drainage Area	Impervious Area (sf)	Pervious Area (sf)	Total Area (sf)
W	2,976	12,239	15,215
Total	2,976	12,239	15,215



NO.	REVISIONS	DATE	BY
DRAINAGE AREA MAP – EXISTING			
LOTS 6.01, 6.02 & 6.03			
PROPOSED RESIDENTIAL BUILDING			
No. 145 WEST MAIN STREET			
BOROUGH OF BERGENFIELD BERGEN COUNTY			
APPLICANT: 145 WEST MAIN STREET, LLC			
C/O MATTHEW CAPIZZI, ESQ.			
11 HILLSIDE AVENUE, 2ND FL.			
TENAFLY, NJ 07670			
DRAWN BY: N.M.		CHKD BY: MJH	
SCALE: AS SHOWN		DRAWING NO.	
1-8-20		3821-6	
DATE		1 OF 2	

**HUBSCHMAN ENGINEERING, P.A.**

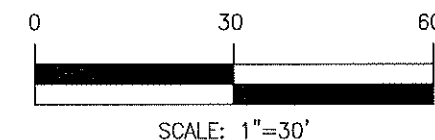
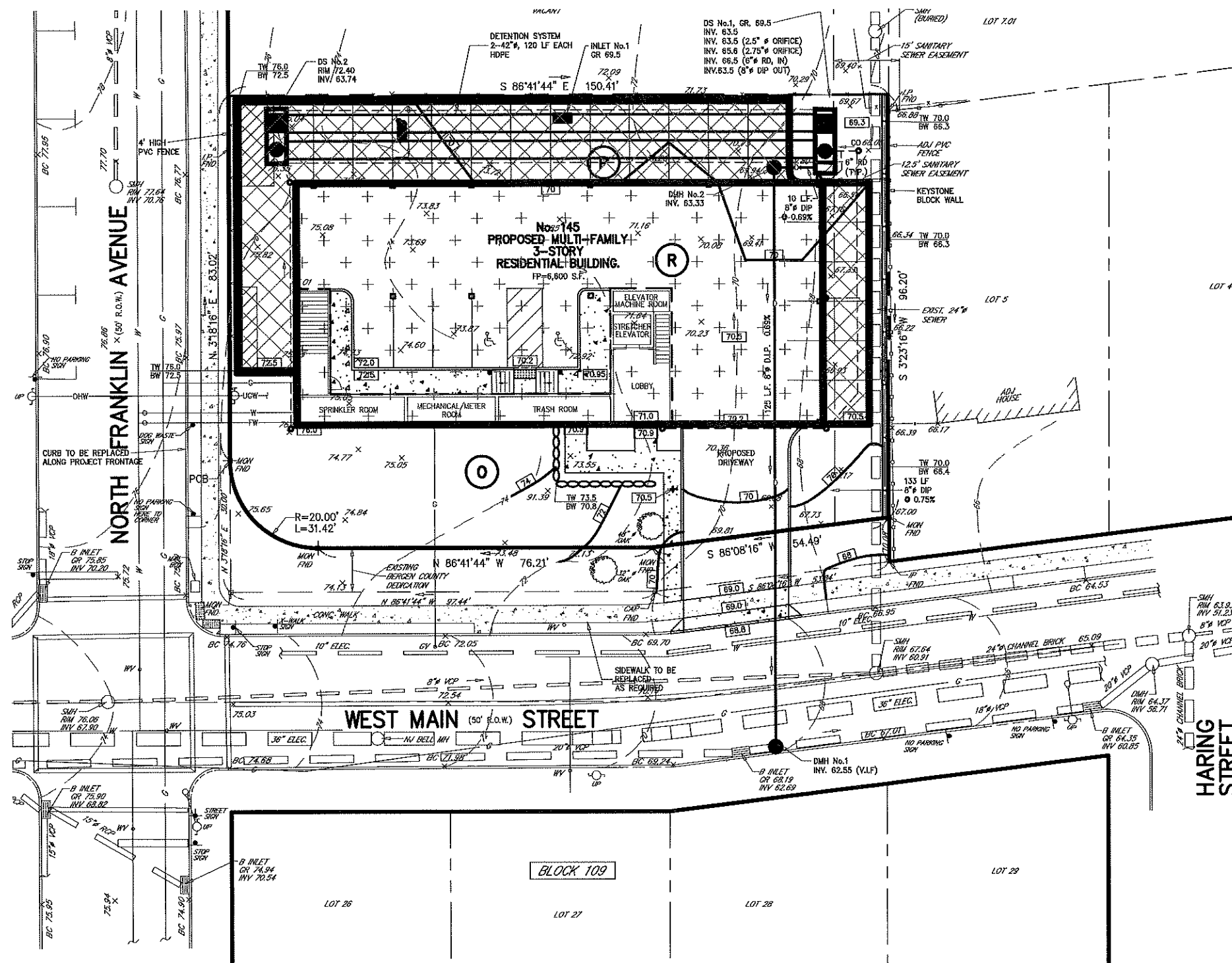
ENGINEERS – PLANNERS – SURVEYORS

263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621

201-384-5666

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200





MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1-8-20  
DATE

NO.	MODIFIED BUILDING & SITE LAYOUT	4-16-20	N.M.
NO.	REVISIONS	DATE	BY

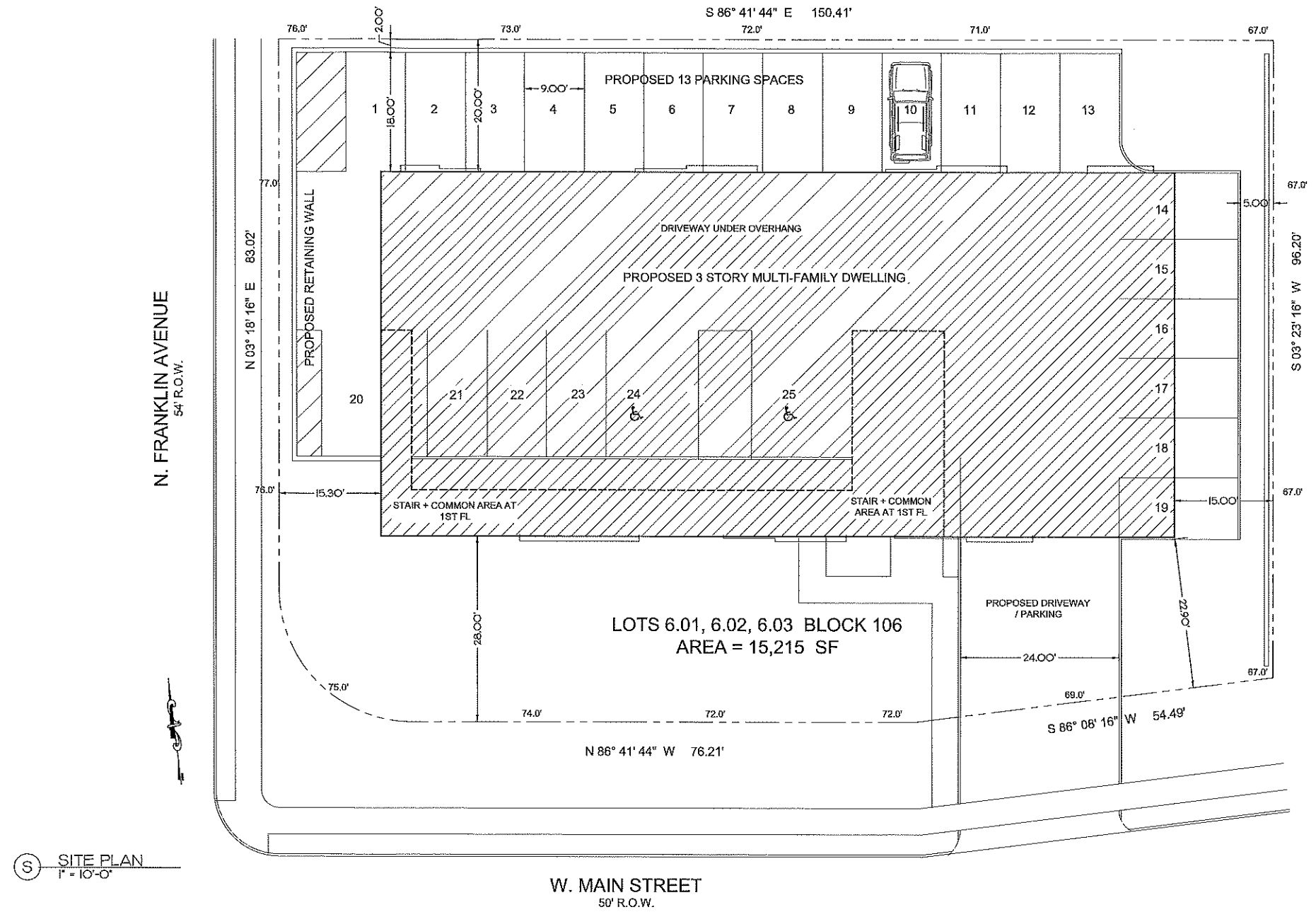
## DRAINAGE AREA MAP - PROPOSED

LOTS 6.01, 6.02 & 6.03  
**PROPOSED RESIDENTIAL BUILDING**  
**No. 145 WEST MAIN STREET**  
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW  
APPLICANT: 145 WEST MAIN STREET, LLC  
C/O MATTHEW CAPIZZI, ESQ.  
11 HILLSIDE AVENUE, 2ND FL.  
TENAFLY, NJ 07670

**HUBSCHMAN**  
**ENGINEERING, P.A.**  
ENGINEERS - PLANNERS - SURVEYORS  
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621  
201-384-5666

DRAWN BY: N.M.  
CHKD BY: MJH  
SCALE: AS SHOWN  
DRAWING NO.  
**3821-7**  
2 OF 2





(S) SITE PLAN  
1" = 10'-0"

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE PROPERTY OWNER:  
HUBSCHMAN ENGINEERING, ENGINEERS, LAND SURVEYORS, + PLANNERS,  
BERGENFIELD, NJ - ROBERT J. MUELLER P.L.S., LIC NO 37206 - DATED X/XX/XXXX

BUILDING DATA:		
PARKING LEVEL:	0- 1 BEDROOM UNITS	0- 2 BEDROOM UNITS
1ST FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS
2ND FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS

PARKING DATA:	
1 BEDROOM UNIT:	12 X 1.8 = 21.6 SPACES
2 BEDROOM UNIT:	4 X 2.0 = 8 SPACES

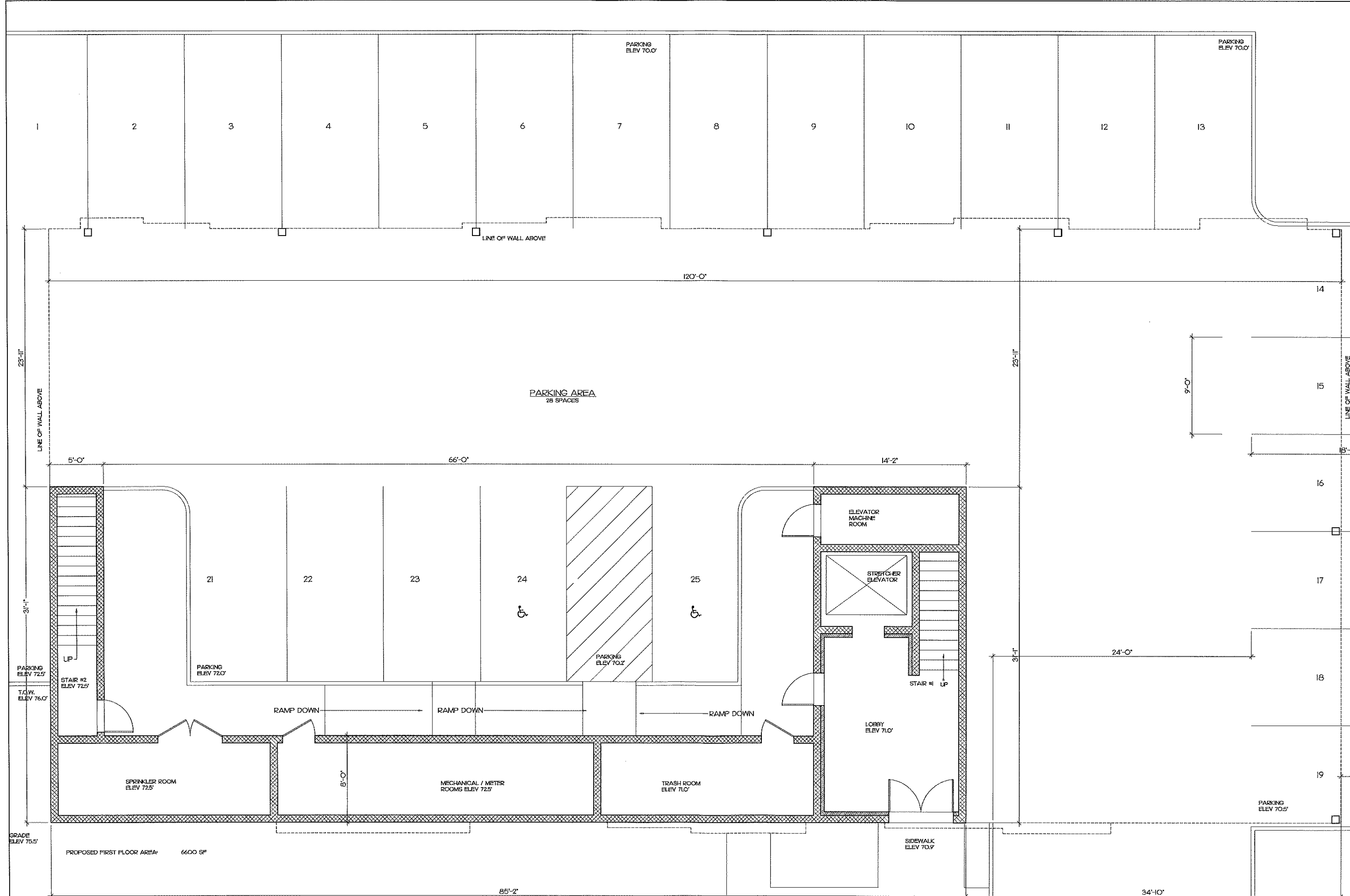
TOTAL 30 SPACES REQUIRED, 25 SPACES PROVIDED

ELECTRICAL LEGEND	
• SURFACE MOUNT LIGHT FIXTURE	• SINGLE POST ELECTRICAL SWITCH
• 6" DIA. (LOAD) RECESSED FIXTURE	• THREE WAY SWITCH
• WALL MOUNTED LIGHT FIXTURE	• DUPLEX RECEPTACLE OUTLET
NEW OR EXST SMOKE ALARM, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
NEW OR EXST CARBON MONOXIDE DETECTOR, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	• WATER PROOF RECEPTACLE OUTLET
• SURFACE MOUNT FAN / LIGHT FIXTURE	NEW OR EXST EXHAUST FAN, 80 CFM • 3 FIXTURES, 110CFM • 4 FIXTURES
	NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
	NEW TELEPHONE OUTLET - VERIFY TYPE + LOCATION WITH OWNER

LEGEND	
EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16" OC (LOAD)	EXISTING CONCRETE CONSTRUCTION TO REMAIN
EXISTING CONCRETE CONSTRUCTION TO BE REMOVED	NEW POLIED OR MASONRY CONC CONSTRUCTION
FLOOR ABOVE OR BELOW	
NEW JOISTS, RAFTERS, ETC.	
NEW GIRDERS, RIDGEBEAMS, ETC.	

#	Date	Revision
New Construction for:		
Multi Family Bui		
Block: 106 Lot: 6.01, 6.02, 6.03		
145 Main Street		
Bergenfield, New Jersey		
SITE PLAN, LEGEND + ZONING		
Scale: AS NOTED		
Date: MAY 1, 2020		
Submission: ZONING APPL		
Indemnification Clause:		
The owner shall release, hold harmless, a Architect with respect to: any changes in construction documents by anyone other than the Architect, or any changes in any aspect of the work, or the Contractor to build in accordance with the documents.		

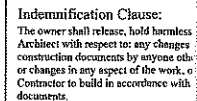




(B) PROPOSED BASEMENT / PARKING LEVEL PLAN  
1/4" = 1'-0"

#	Date	Revision
New Construction for:		
<b>Multi Family B</b> Block: 106 Lot: 6.01, 6 145 Main Street Bergenfield, New Jersey		
BASEMENT FLOOR PLAN		
Scale: 1/4" = 1'-0"		
Date: MAY 1, 2020		
Submission: ZONING AP		
<b>Indemnification Clause:</b> The owner shall release, hold harmless Architect with respect to: any changes construction documents by anyone or or changes in any aspect of the work, Contractor to build in accordance with documents.		

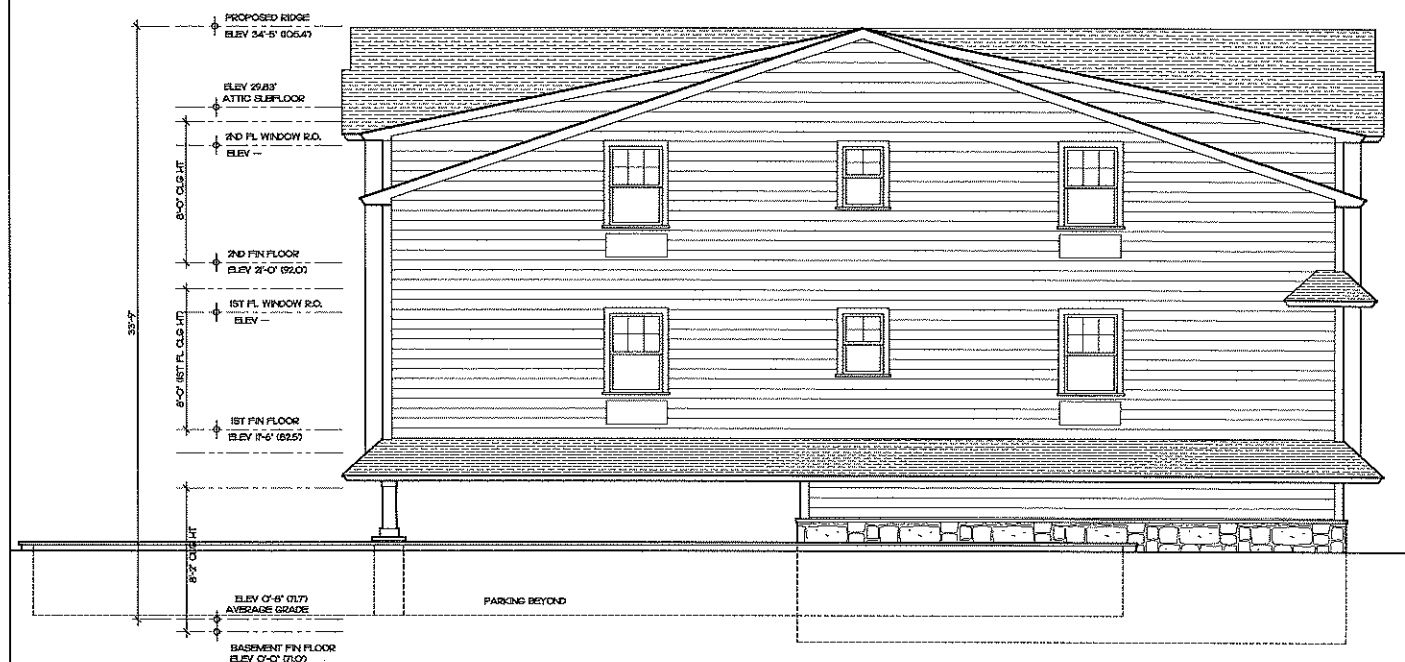




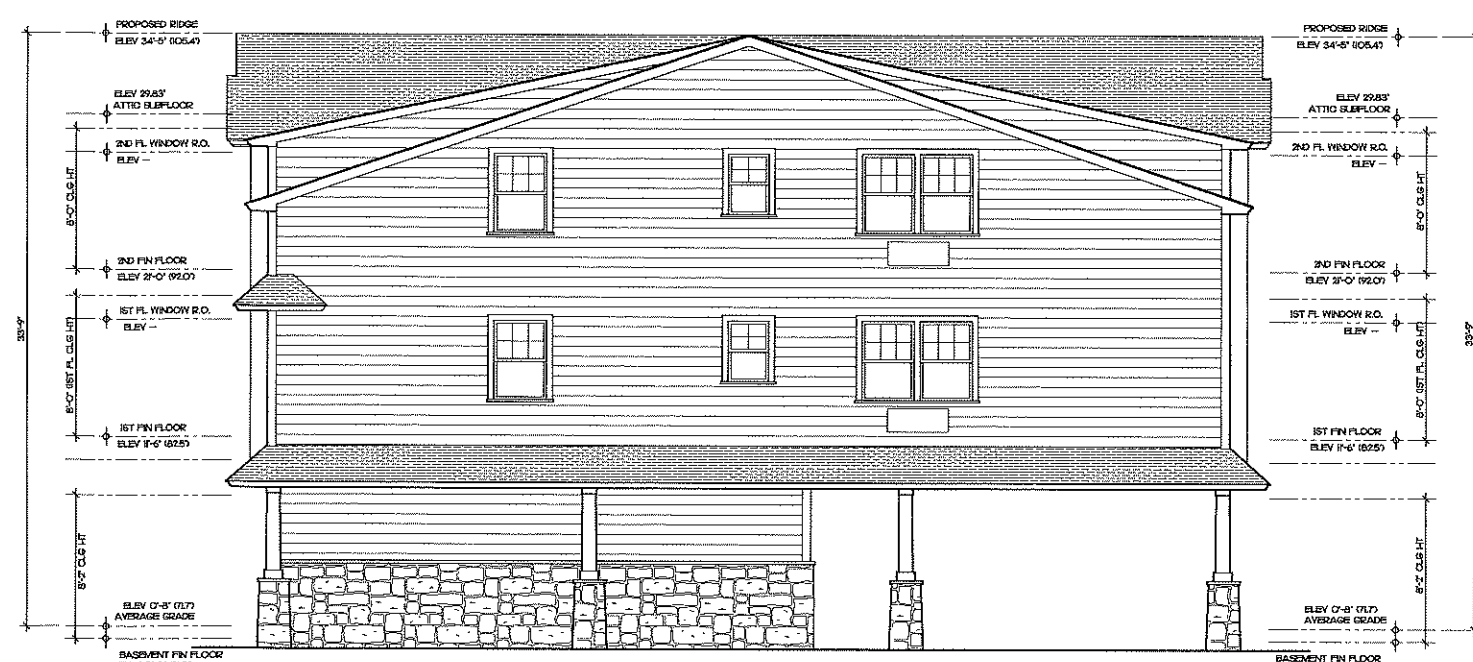
2 PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



③ PROPOSED FRONT MAIN STREET ELEVATION  
3/16" = 1'-0"



④ PROPOSED LEFT SIDE ELEVATION  
3/16" = 1'-0"



⑥ PROPOSED RIGHT SIDE ELEVATION  
3/16" = 1'-0"

#	Date	Revision
1		New Construction for:

Multi Family Bu  
Block: 106 Lot: 6.01, 6.02  
145 Main Street  
Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 1, 2020

Submission: ZONING APP

Indemnification Clause:  
The owner shall release, hold harmless, Architect with respect to: any changes in construction documents by anyone other than the Architect, or changes in any aspect of the work, or Contractor to build in accordance with documents.



5 PROPOSED REAR ELEVATION  
3/16" = 1'-0"

#	Date	Revision
1		New Construction for:

Multi Family B  
Block: 106 Lot: 6.01, 6.02  
145 Main Street  
Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 1, 2020

Submission: ZONING AP

Indemnification Clause:  
The owner shall release, hold harmless, defend and indemnify the Architect with respect to any change in construction documents by anyone other than the Architect or changes in any aspect of the work, or Contractor to build in accordance with documents.

FILE NO. \_\_\_\_\_ DATE 09-16-2020  
DATE OF HEARING 10-19-2020 DISPOSITION \_\_\_\_\_

BOARD OF ADJUSTMENT  
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL  
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 34 Highgate Terrace Ilc  
ADDRESS 34 Highgate Terrace, Bergenfield NJ 07621  
OWNER'S NAME 34 Highgate Terrace Ilc  
OWNER'S ADDRESS 34 Highgate Terrace, Bergenfield PHONE # 917 7475757  
85-2670532 FED I.D.# or S S \_\_\_\_\_

Applicant will be represented at public hearing by Jordan Rosenberg  
Architect + Associates

TO THE BOARD OF ADJUSTMENT:  
Application is hereby made for a variation/appeal from the  
requirements of Section(s) \_\_\_\_\_ and/or from the  
requirements of the Scheduled Limiting Bulk of Buildings of  
the Zoning Ordinance in accordance with plans and  
specifications attached hereto and/or decision of Zoning  
Officer. The location of this property is at  
NUMBER: 34 Highgate Terrace

DESIGNATED AS Block(s) 323 and Lot(s) 19  
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-6 in the RS zone

VARIANCES REQUIRED: LOT AREA \_\_\_\_\_ LOT FRONTAGE \_\_\_\_\_

LOT COVERAGE 33.9% FRONT YARD \_\_\_\_\_ REAR YARD \_\_\_\_\_ SIDE YARD \_\_\_\_\_

TOTAL SIDE YARD \_\_\_\_\_ OTHER (specify) Total improved lot coverage 47.9

THE REASON FOR DESIRED VARIANCE/APPEAL

This lot has a deficient lot width  
of 50' wide wher 60' is Required.

## DESCRIPTION OF PROPERTY

1. SIZE OF LOT 50 x 120 2. SQUARE FEET IN LOT 6,000
3. SIZE OF PRESENT BUILDINGS 32 x 26 4. STORIES 2
5. TOTAL AREA 695 SQ. FT. 6. NUMBER OF ROOMS 6
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 112%
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY single family
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES \_\_\_\_\_  
NO ☒ (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY \_\_\_\_\_  
single family
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE  
PREMISES? YES \_\_\_\_\_ NO ☒ IF SO, DATE FILED \_\_\_\_\_  
DISPOSITION \_\_\_\_\_
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING  
ORDINANCE? YES \_\_\_\_\_ NO ☒ (IF SO, EXPLAIN) \_\_\_\_\_
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?  
YES \_\_\_\_\_ NO ☒
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?  
YES \_\_\_\_\_ NO ☒
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER  
MUNICIPALITY? YES \_\_\_\_\_ NO ☒

## DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES \_\_\_\_\_ NO ✓

17. SIZE OF NEW ADDITION \_\_\_\_\_ X \_\_\_\_\_ SQ. FT.

\_\_\_\_\_ AREA \_\_\_\_\_ HEIGHT

18. SIZE OF NEW BUILDINGS \_\_\_\_\_ X \_\_\_\_\_ SQ. FT.

\_\_\_\_\_ AREA \_\_\_\_\_ HEIGHT

19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS

33.9 %

20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR ONE

See  
Architect  
Plans

NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)



BOROUGH OF BERGENFIELD  
NOTICE TO PROPERTY OWNERS

Notice is hereby given that the ZONING BOARD of ADJUSTMENT of the BOROUGH of BERGENFIELD will hold a public hearing at the Municipal Building, 198 North Washington Avenue, Bergenfield, N.J.

on Monday evening (date), October 19, 2020

at 8:00 p.m. or as soon thereafter as the applicant may be

heard, to hear and consider the application/appeal of

34 Highgate Terrace LLC

for

① Maximum lot coverage of 33.9%.  
where 30% is allowed.

② Total improved lot coverage of 47.9%  
where 35% is allowed.

The said premises are designated as Lot(s): 19

, Block: 323

on the current Tax Assessment Map of the Borough of Bergenfield, and are commonly known by street address as:

34 Highgate Terrace

These premises are bounded by Westminster Gate

and New Bridge Road

Any maps and documents for which approval is sought by the applicant are available for public inspection between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday, at the Construction Code Office, located in the Municipal Building, 198 North Washington Avenue, Bergenfield. All persons or property owners interested in this appeal may be heard either in favor of or opposed to the application before the Board at the aforesaid time and place.

By order of the Board of Adjustment of Bergenfield  
**AFFIDAVIT BOARD OF ADJUSTMENT**  
**OF THE**  
**BOROUGH OF BERGENFIELD**

STATE OF NEW JERSEY  
COUNTY OF BERGEN  
BOROUGH OF BERGENFIELD

SS:

34 Highgate Terrace 11c  
Name of Applicant

Ari Becher being dully sworn deposes  
and says; that he reside at number 66 Roberts Rd, Englewood Cl. NJ in the state of  
NJ, and says that he is the appellant making appeal  
for a variation/appeal of the provisions of the Provisions of the Zoning  
Ordinance of the of the Borough of Bergenfield in connection with the  
property which is the subject matter of this appeal and known as  
number 34 designated as Block 323 and Lot 19 on  
the Assessment Map of the Borough of Bergenfield. That all statements  
made in this application, and statements made in the plans submitted  
herewith are true. The applicant further states that he is ready and able  
to proceed with the construction if and when the application is granted.

Sworn to me this- 16th  
day of September 20 20

[Signature]  
Notary Public

[Signature]  
Applicant

Note: All partnerships and corporations must supply a list of stockholder with  
a 10% or greater share, they must also be represented by an Attorney at the hearing.

Joshua Zelkowitz  
NOTARY PUBLIC  
STATE OF NEW JERSEY  
MY COMMISSION EXPIRES FEBRUARY 1, 2022

## AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,  
COUNTY OF BERGEN

SS:

Ari Beeher of full age, dully sworn according to the law, deposes and says that he resides at 66 Roberts Rd in the Borough of Englewood Cliffs in the county of Bergen in the State of NJ that he is the owner in fee of real property lying in the Borough of Bergenfield, known and designated as number 34 Highgate Terrace and the he hereby authorizes Ari Beeher + Jordan Rosenberg to make the within application in his behalf and that the statements in the said application are true.

Sworn to before me this 16<sup>th</sup>  
Day of September 20 20

[Signature]  
Owner

[Signature]  
Public Notary

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.

Joshua Zelkowitz  
NOTARY PUBLIC  
STATE OF NEW JERSEY  
MY COMMISSION EXPIRES FEBRUARY 1, 2022



## BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE  
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.

(201) 387-4055 EXT. 1-4092

FAX: (201) 385-7376

September 14, 2020

34 Highgate Terrace LLC  
34 Highgate Terrace  
Bergenfield, NJ 07621

RE: New Single Family

Dear 34 Highgate Terrace LLC

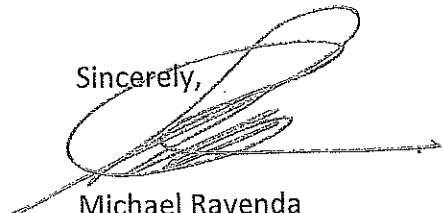
Your application for a new single family has been denied for the following reason:

1. Maximum lot coverage required 30% or 1,800 sq. feet. Proposed lot coverage 33.9% or 2,033 sq. feet.
2. Required improved lot coverage 35% or 2,100 sq. feet. Proposed 47.9% or 2,876 sq. feet.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

  
Michael Ravenda  
Zoning Officer



# BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE  
BERGENFIELD, NJ 07621  
(201) 387-4055 x 4 FAX (201) 385-7376

## TAX COLLECTOR'S CERTIFICATION PAYMENT OF PROPERTY TAXES

Date 09-16-2020  
Block 323 Lot 19 Address 34 Highgate Terrace, Bergenfield  
Owners Name 34 Highgate Terrace LLC  
Owner's Address 34 Highgate Terrace, Bergenfield  
Phone Number " " Cell Number 917 747 5757  
Application for: Board of Adjustment Planning Board  
✓ Building Department Permit

Description of Work to be performed: New Single Family House

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit From the building department for construction or certificate of occupancy. "No Exceptions"

\*\*\*\*\*

Tax Office Use Only:

Tax Current ✓ Yes 1 No Last Quarter Paid On: 8/4/20  
(Printout Attached)

Tax Collector/Deputy Tax Collector Certification:

[Signature]  
Certification Number T-8454

9-17-20  
Date:

Proposed Single Family Residence

34 Highgate Terr. Bergenfield, New Jersey

PROJECT DESCRIPTION: PROPOSED ADDITION & RENOVATION		BLOCK: 323	LOT: 19
ZONE: R-6, SUBJECT TO R-6 REQUIREMENTS		BUILDING CODES USED: BERGENFIELD TOWN ORDINANCE	
LOT SIZE	EXISTING	MIN. REQ'D	PROPOSED
AREA	6,000 SF	6,000 SF	(NO CHANGE)
WIDTH	50 FT	60 FT	(NO CHANGE)
DEPTH	120 FT	100 FT	(NO CHANGE)

SETBACKS	REQ'D	PROPOSED	VARIANCE REQ'D
FRONT YARD	25 FT	25.25 FT	NO
R SIDE YARD	7.5 FT	7.58 FT	NO
L SIDE YARD	7.5 FT	7.58 FT	NO
COMBINED SIDE YARD	15 FT	15.16 FT	NO
REAR YARD	25 FT	27.75 FT	NO
MAXIMUM BUILDING HEIGHT	30 FT/2 STORY	30 FT/2 STORY	NO
MAXIMUM LOT COVERAGE (BUILDING COVERAGE)	1800 SF (30.0 %)	2,033 SF (33.9%)	YES
TOTAL IMPROVED LOT COVERAGE	2,100 SF (35.0 %)	2,876 SF (47.9%)	YES

LOT COVERAGE (BUILDING)	
IMPROVED COVERAGE	PROPOSED
MAIN DWELLING	1919 SF
COVERED FRONT PORCH	114 SF
TOTALS (% OF ENTIRE LOT AREA)	2,033 SF

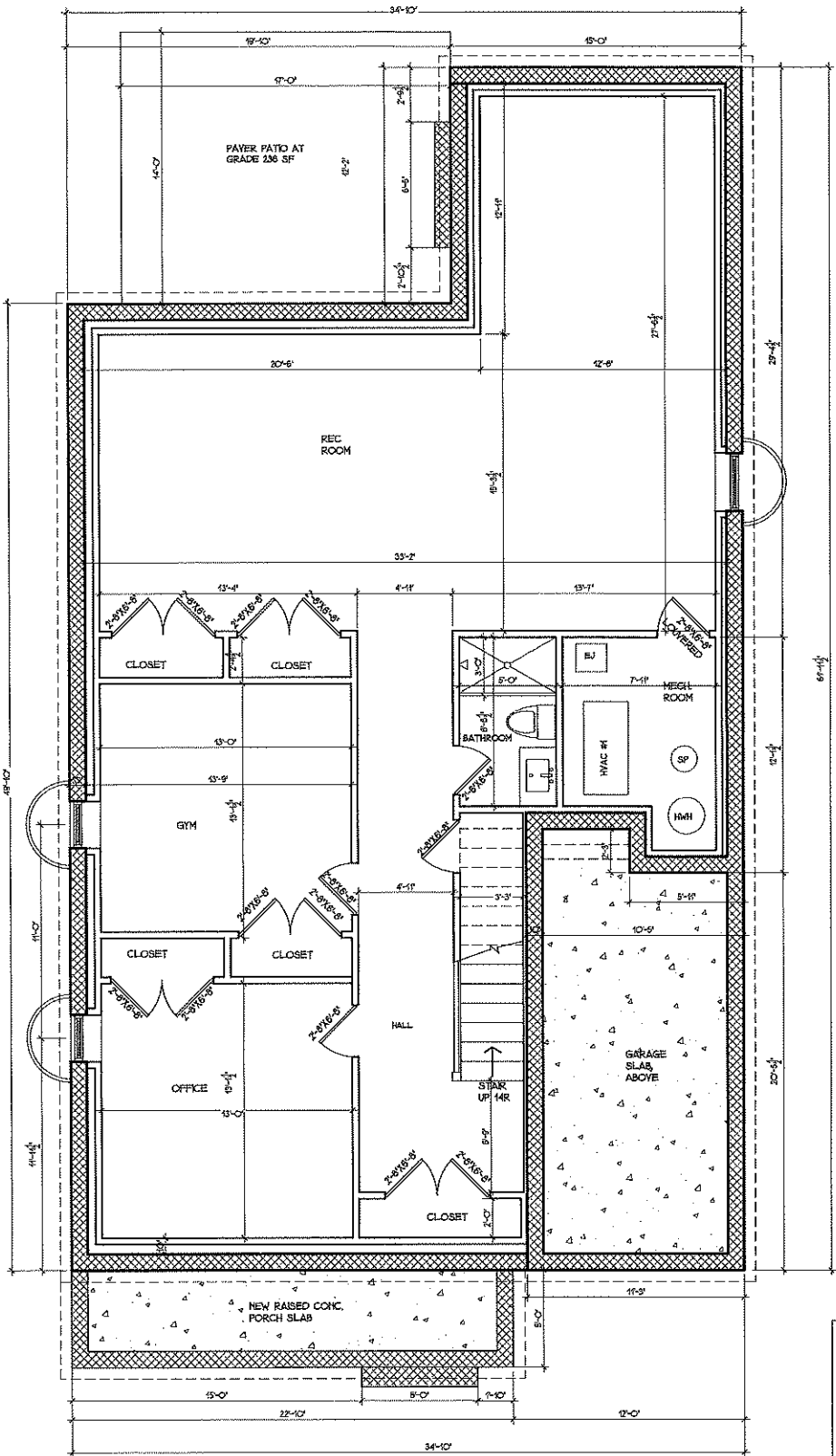
BUILDING CHARACTERISTICS	
BUILDING CLASSIFICATION	SINGLE FAMILY RESIDENCE
USE GROUP	R5
CONSTRUCTION TYPE	5B
NUMBER OF STORIES	2
AREA OF LARGEST FLOOR	1928 SF (2ND FL.)
NEW BUILDING AREA	3,847 SF (1ST + 2ND)
VOLUME OF NEW STRUCTURE	59,280 CUFT.

TOTAL IMPROVED LOT COVERAGE	
IMPROVED COVERAGE	PROPOSED
MAIN DWELLING	1919 SF
COVERED FRONT PORCH	114 SF
FRONT STEP	6 SF
DRIVEWAY	524 SF
A/C UNITS (2)	42 SF
FRONT WALKWAY	32 SF
REAR PATIO	238 SF
SIDE WALKWAY	31 SF
TOTALS (% OF ENTIRE LOT AREA)	2,876 SF

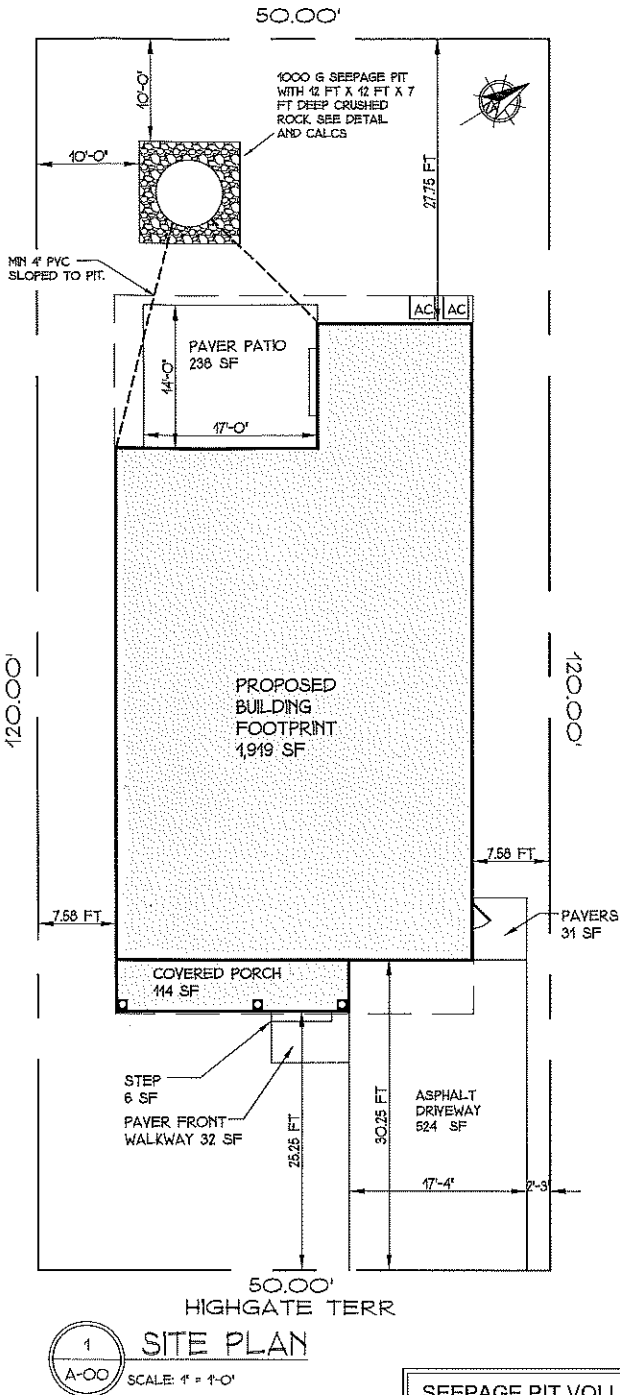
ALL DRAWINGS HERE WITHIN SHALL CONFORM TO THE LATEST LOCAL AND STATE CODES AS LISTED BELOW:

INTERNATIONAL RESIDENTIAL CODE/2018, NJ ED  
(IRC W/ NJ EDITS FROM 3.2)

NATIONAL STANDARD PLUMBING CODE/2018 (NUAC 523-3.15)  
NATIONAL ELECTRICAL CODE (NFPA 70)/2017 (NUAC 523-3.15)  
ENERGY SUBCODE ASHREA 90.1/2015  
INTERNATIONAL MECHANICAL CODE/2018 (NUAC 523-3.20)  
INTERNATIONAL FUEL GAS CODE/2018 (NUAC 523-3.22)  
ELEVATOR SUBCODE (WHEN APPLICABLE) NUAC 523-12



2 BASEMENT FLOOR PLAN  
A-00 SCALE: 1/4" = 1'-0"



1 SITE PLAN  
A-00 SCALE: 1" = 1'-0"

RAINWATER RUNOFF CALCULATIONS

PROPOSED IMPERVIOUS AREA = 2,876 S.F.

DESIGN BASIS:  
1 GAL OF STORAGE / 1 S.F. OF IMPERVIOUS AREA  
RUNOFF COEFFICIENT: 1.0

RUNOFF VOLUME: 2,876 GAL. REQ'D

TOTAL VOLUME OF SEEPAGE PIT PROVIDED:  
USE (1) PITS = 3,837 GAL. PROVIDED

(SEE SEEPAGE PIT VOLUME CALCULATIONS)

USE (1) 6" DIA. X 6.5' DEEP SEEPAGE PITS IN  
A 3/4" STONE BED OF 12' X 12' X 7' DEEP

SEEPAGE PIT VOLUME CALCULATIONS

PRECAST CONCRETE SEEPAGE PIT 6 FT DIA X 6.5 FT h  
SHEA 1000G CYLINDRICAL DRYWELL OR EQUAL

VOLUME OF (1) SEEPAGE PIT

HEIGHT OF PIT	6.5 ft
OUTSIDE DIAMETER OF PIT=	6 ft
INSIDE DIAMETER OF PIT=	5.34 ft
CAPACITY OF SEEPAGE PIT=	134 CF
	1,002 gal

VOLUME OF STONE TRENCH

WIDTH=	12.0 ft
LENGTH=	12.0 ft
DEPTH=	7.0 ft

TRENCH VOLUME = L x W x D= 1,008 c.f.

LESS OUTER VOLUME OF SEEPAGE PIT =  $\pi R^2 \times D$  = 183 cf

NET VOLUME= 825 cf

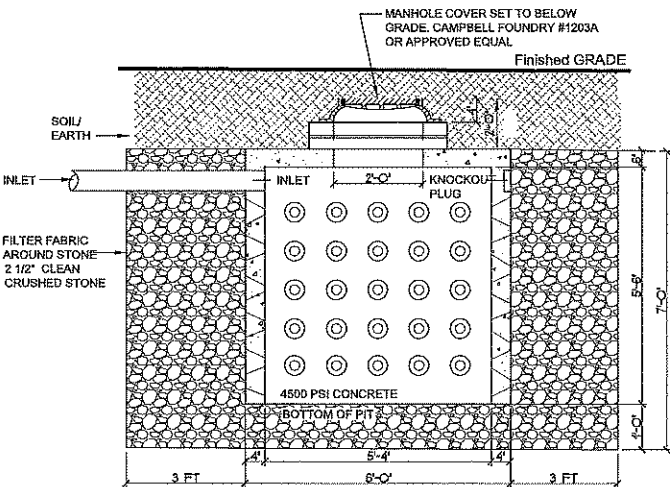
VOID RATIO= 0.4

VOLUME OF STONE VOIDS= 330 cf

(2,468 gal)

TOTAL VOLUME PER SEEPAGE PIT 513 cf

(3,837 gal)



NOTES:  
CONNECT SEEPAGE PITS TO TRENCH DRAIN WITH 4" MIN. PVC PIP

1000 G PRECAST CONC. SEEPAGE PIT (SHEA MANUF. OR EQUAL)

NOT TO SCALE



Jordan Rosenberg  
ARCHITECT  
& ASSOCIATES

27 N. Broad St  
Ridgewood NJ  
(201) 669-8614  
jarchitect@gmail.com

SET ISSUES & DATES:

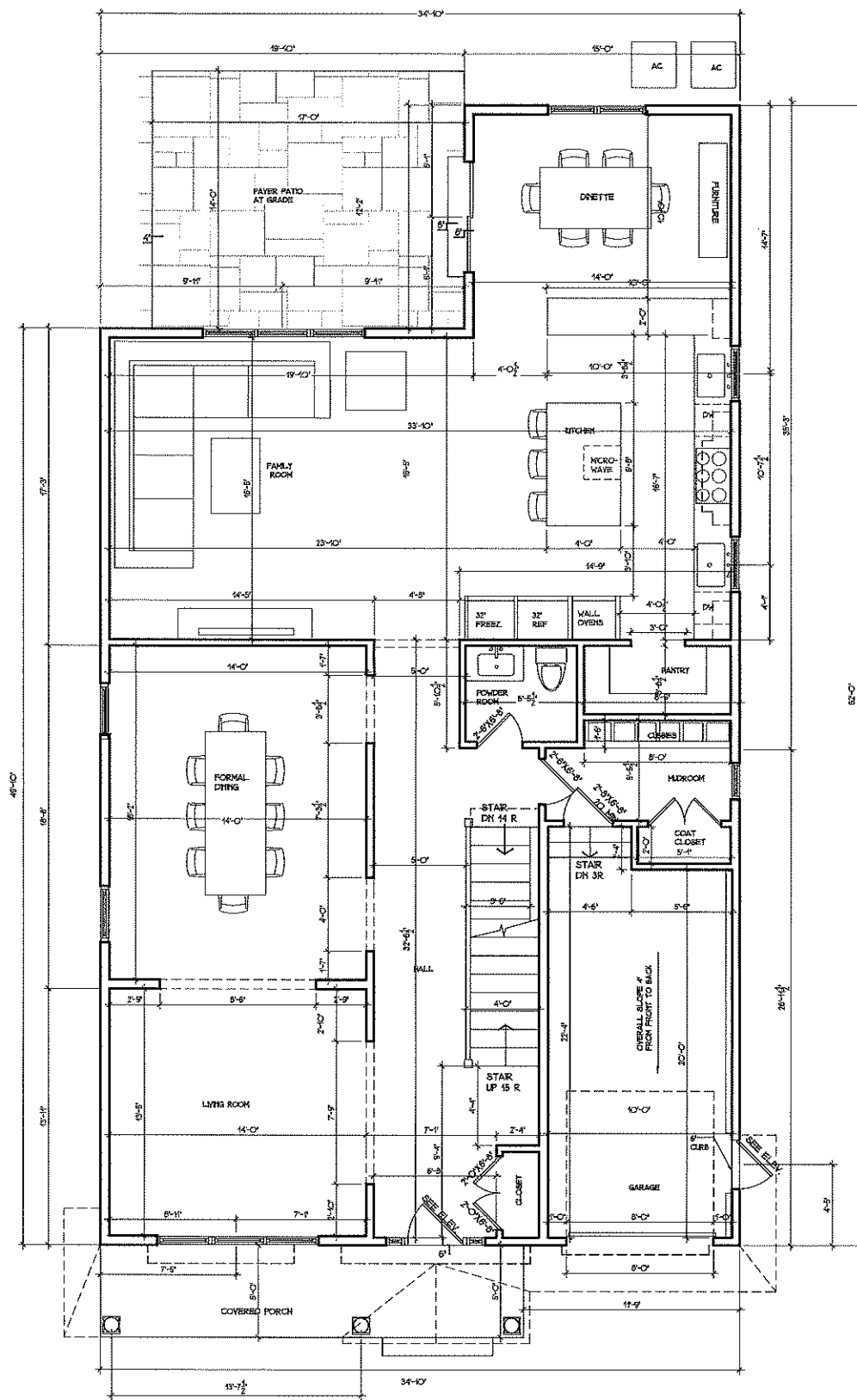
9-2-20	PLANS FOR CLIENT REVIEW
9-2-20	REVISED PLANS AS PER CLIENT COMMENTS
9-2-20	CONCEPTUAL DRAWINGS FOR CLIENT REVIEW
9-2-20	FOR ZONING REVIEW SUBMITTAL FOR VARIANCE

PROPOSED SINGLE FAMILY RESIDENCE  
34 HIGHGATE TERR. BERGENFIELD, NJ

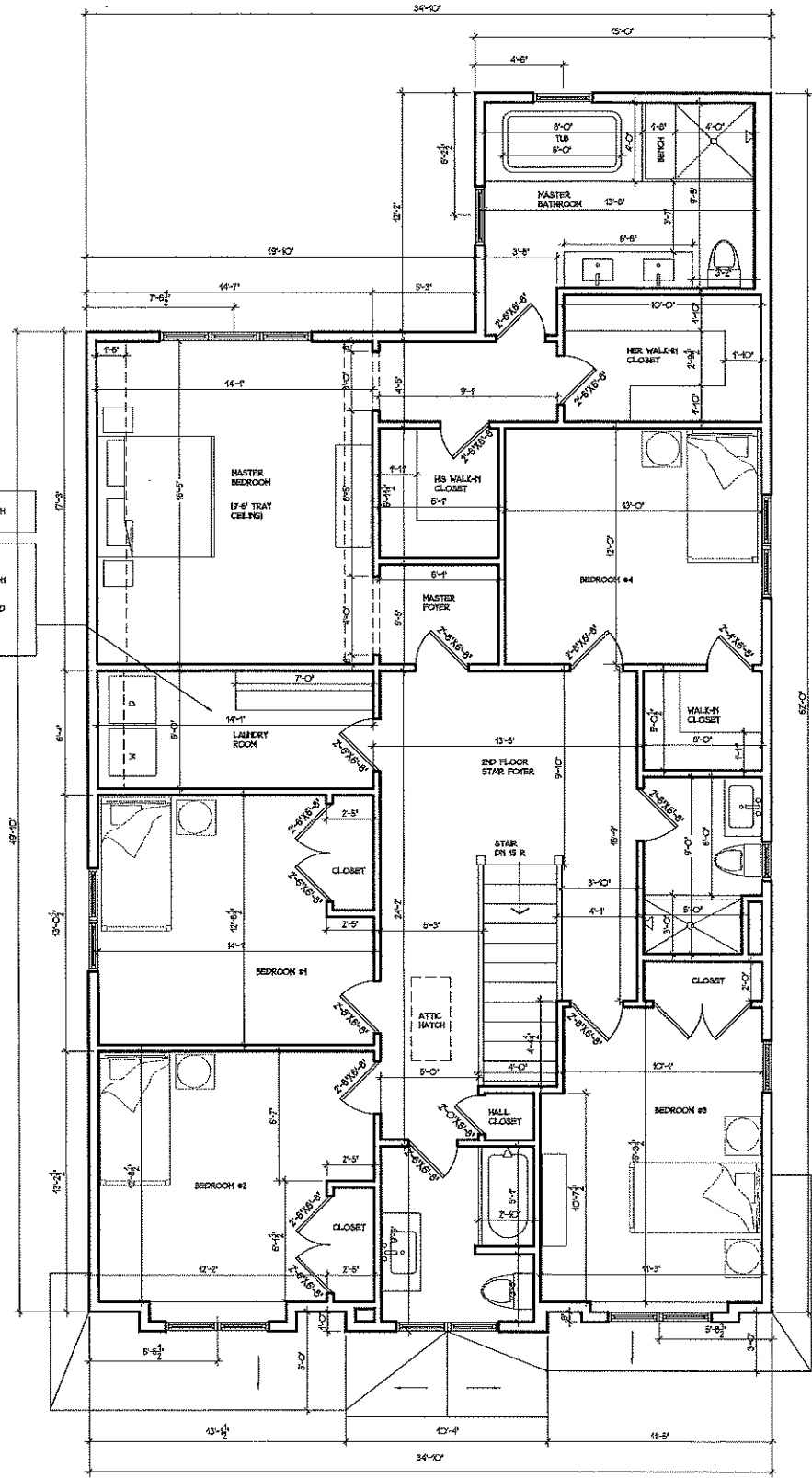
JORDAN  
ROSENBERG, R.  
NJ ARCHITECT:  
#16495

DATE 9-10-20 DRAWN JR

A-01



1 FIRST FLOOR PLAN  
A-01 SCALE: 1/4" = 1'-0"



STAINLESS STEEL TUB PAN  
UNDER CLOSET MASTER WITH  
OVERFLOW DRAIN

NOTE:  
VENTILATION ACCESS FOR  
DROPPING IN ACCORDANCE W/  
MANUFACTURER'S INSTALLATION  
REQUIREMENTS. VENTING  
MATERIAL TO BE MIN. #12 GA.  
SMOOTH FINISH, NOT PAINTED  
WITH AERIAL INSTALLATION  
AND MATERIAL TO CONFORM  
TO INTERNAL MECHANICAL  
CODE SEC. 504.6 AND 504.1

2 SECOND FLOOR PLAN  
A-01 SCALE: 1/4" = 1'-0"



SET ISSUES & DATES:	
9-2-20	PLANS FOR CLIENT REVIEW
9-4-20	REVISED PLANS AS PER CLIENT COMMENTS
9-9-20	CONCEPTUAL DRAWINGS FOR CLIENT REVIEW
9-10-20	FOR ZONING REVIEW SUBMISSION/ FOR VARIANCE

PROPOSED SINGLE FAMILY RESIDENCE  
34 HIGHTATE TERR. BERGENFIELD



JORDAN  
ROSENBERG, R.  
NJ ARCHITECT:  
#16495

DATE	DRAWN
9-10-20	JR

A-02

