

**SUNSHINE NOTICE
BOROUGH OF BERGENFIELD
ZONING BOARD OF ADJUSTMENT
REGULAR MEETING
OCTOBER 19, 2020 8:00PM
TELECONFERENCE MEETING VIA ZOOM**

Please be advised due to the current state of emergency and public health emergency declared by Governor Phil Murphy pursuant to Executive Order No. 103, and in an effort to prevent further spread of COVID-19, the October 19, 2020 Borough of Bergenfield Zoning Board of Adjustment meeting will be held via teleconference using Zoom in lieu of an in-person meeting. This meeting is scheduled to commence at 8:00 pm.

Members of the public can join this meeting from their computer, tablet, or smartphone. Members of the public who join this meeting will be able to give public comment during the relevant portions of the meeting. The meeting link and telephone number to join the meeting will be provided on the Borough of Bergenfield website at www.bergenfield.com.

The Zoning Board of Adjustment agenda for this meeting can be reviewed and downloaded from the Borough website.

Please visit the Borough website on www.bergenfield.com for updates and additional information on this meeting.

Hilda Tavitian, Clerk
Zoning Board of Adjustment
Borough of Bergenfield

***THIS IS A PUBLIC NOTICE, NOT A PAID LEGAL AD.**

**BERGENFIELD ZONING BOARD OF ADJUSTMENT
REGULAR MEETING
TELECONFERENCE VIA ZOOM
October 19, 2020 8:00 PM**

AGENDA

MEETING CALLED TO ORDER

OPEN PUBLIC MEETING STATEMENT

In compliances with the Open Public Meetings Act, the notice requirements have been satisfied. Meeting dates are confirmed at the Annual Meeting. Notice of this meeting was provided to the Record, Star Ledger, and Cablevision, posted on two municipal public notice bulletin boards and published on the borough website. Notice of this meeting via the October 9, 2020 Sunshine Notice has been sent to the Record, Star Ledger, and Cablevision, posted on two municipal bulletin boards and the Borough website.

Any board member having a conflict of interest involving any matter to come before the board this evening is reminded they must recuse himself/herself from participating in any discussion on that matter.

PLEDGE OF ALLEGIANCE

INTRODUCTORY STATEMENT

Welcome to the Zoning Board of Adjustment. Let me briefly explain what we do. We are appointed by the Bergenfield Council to decide when a property owner should get relief from the strict application of the zoning code requirements. Typically, we hear two types of variances. The first is whether an applicant can vary from land restrictions including rules on sideline distance, height, and lot coverage. That is commonly called a bulk variance. The second is a use variance, where an applicant wants to use the property for a purpose not permitted under the zoning ordinance in that zone.

In these cases, the applicant has the burden of meeting certain criteria set forth in the Municipal Land Use Act. We carefully listen to the testimony, including objectors, and review all relevant documents. If a majority of the Board concludes that the applicant has satisfied those criteria, we must grant the requested variance.

ROLL CALL

APPROVE MINUTES OF PREVIOUS MEETING – September 14, 2020

Motion from board members to approve minutes.

CORRESPONDENCE

VERBAL COMMUNICATIONS

Comments by members of audience on matters not on evening's agenda

OLD BUSINESS

1. **Resolution** - Karen Kirschenbaum
35 Regent Street
Extension for swimming pool

NEW BUSINESS

- 1. Leen Mosley
46 Greenwich Drive
Construct a sunroom
- 2. Jessica Xiong
60 Portland Avenue
Non permitted use to open a massage-body work salon
- 3. 145 West Main Street, LLC
145 West Main Street
Change of use to a multi-family dwelling R-5 zone to RM zone
- 4. Rami Glatt
132 Highview Avenue
Converting garage into living space
- 5. 34 Highgate Terrace LLC
34 Highgate Terrace
Build a new single house

MOTION TO ADJOURN MEETING

NOTE: No applications will be heard by the Board that were not on the agenda at the time of publication release to the newspaper or applications that do not comply with Article VIII title “Hearings contained in the By-Laws of the Bergenfield Zoning Board”.

BOROUGH OF BERGENFIELD

BOARD OF ADJUSTMENT

APPLICATION AND INSTRUCTIONS TO APPLICANTS

Instructions include: page

Application include: page

RECEIVED BY _____ Date _____

PROPERTY ADDRESS 46 Greenwood Drive

BLOCK 238 LOT 1

DATE APPLICATION RECEIVED _____

ESCROW FEES _____ Collected by _____
Date _____

APPLICATION FEES _____ Collected by _____
Date _____

1
FILE NO. _____ DATE _____
DATE OF HEARING APRIL 6TH 2020 DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME LEEN MOSLEY
ADDRESS 46 GREENWICH DRIVE
OWNER'S NAME LEEN MOSLEY
OWNER'S ADDRESS 46 GREENWICH DRIVE PHONE # 201-615-5871
FED I.D.# or S S _____

Applicant will be represented at public hearing by SELF

TO THE BOARD OF ADJUSTMENT:

Application is hereby made for a variation/~~appeal~~ from the requirements of Section(s) _____ and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at
NUMBER: 46 GREENWICH DRIVE BERGENFIELD

DESIGNATED AS Block(s) 238 and Lot(s) 1
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT _____

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE ☒ FRONT YARD ☒ REAR YARD ☒ SIDE YARD _____

TOTAL SIDE YARD _____ OTHER(specify) _____

THE REASON FOR DESIRED VARIANCE/APPEAL

(1) REAR YARD SETBACK REQUIRED IS 25' PROPOSED 9' FT
(2) LOT COVERAGE REQUIRED IS 2149^{SF} MAX PROPOSED 2194^{SF} (INC 49^{SF})

DESCRIPTION OF PROPERTY

1. SIZE OF LOT IRREGULAR x 5372 SQ FT

3. SIZE OF PRESENT BUILDINGS _____ x _____ 4. STORIES 2

5. TOTAL AREA 1423.8 SQ. FT. 6. NUMBER OF ROOMS _____

7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 26.5%

8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY _____

S.F. RESIDENTIAL

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____

NO ☒ (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____

RESIDENTIAL SINGLE FAMILY

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES? YES ☒ NO _____ IF SO, DATE FILED 2016

DISPOSITION VARIANCE APPROVED

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE? YES _____ NO ☒ (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?

YES ☒ NO ☒

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?

YES _____ NO ☒

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER

MUNICIPALITY? YES _____ NO ☒

⑬ Property already has 12" solid wall drainage pipe installed for full length of the property, carrying ~~all~~ pump pump & all downspouts (all rainwater & ground water) off the property.

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO ☒
17. SIZE OF NEW ADDITION 11.66 x 5 SQ. FT.
58.3^{sq} AREA 12^{ft} HEIGHT
18. SIZE OF NEW BUILDINGS _____ x _____ SQ. FT.
 _____ AREA _____ HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS _____ %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR _____

NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

BOROUGH OF BERGENFIELD
NOTICE TO PROPERTY OWNERS

Notice is hereby given that the ZONING BOARD of ADJUSTMENT of the BOROUGH of BERGENFIELD will hold a public hearing at the Municipal Building, 198 North Washington Avenue, Bergenfield, N.J.

on MONDAY evening (date), APRIL 6⁷⁴,

at 8:00 p.m. or as soon thereafter as the applicant may be

heard, to hear and consider the application/appeal of _____

LEEN MOSLEY
for REAR YARD SETBACK 25^{FT} REQUIRED 9^{FT} PROPOSED
(2) LOT COVERAGE REQUIRED 2149^{S.F} PROPOSED 2194^{S.F}

TO CONSTRUCT A NEW SUNROOM
11.66^{FT} X 5^{FT}

The said premises are designated as Lot(s): 1

, Block: 238

on the current Tax Assessment Map of the Borough of

Bergenfield, and are commonly known by street address as:

46 GREENWICH DRIVE BERGENFIELD

These premises are bounded by _____

Any maps and documents for which approval is sought by the applicant are available for public inspection between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday, at the Construction Code Office, located in the Municipal Building, 198 North Washington Avenue, Bergenfield. All persons or property owners interested in this appeal may be heard either in favor of or opposed to the application before the Board at the aforesaid time and place.

By order of the Board of Adjustment of Bergenfield

AFFIDAVIT BOARD OF ADJUSTMENT

OF THE

BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY
COUNTY OF BERGEN
BOROUGH OF BERGENFIELD

SS:

Name of Applicant

LARRY MOSLEY being duly sworn deposes
and says; that he reside at number 46 GREENWICH DRIVE
in the Borough of BERGENFIELD, in the County of BERGEN
in the State of NJ, and says that he is the
appellant making appeal for a variation/appeal of the
provisions of the Zoning Ordinance of the Borough of
Bergenfield in connection with the property which is the
subject matter of this appeal and known as number _____
designated as Block 238 and Lot 1 on the Assessment
Map of the Borough of Bergenfield. That all statements made
in this application, and statements made in the plans
submitted herewith are true. The applicant further states
that he is ready and able to proceed with the construction if
and when the application is granted.

Sworn to me this- 9th

day of March 18 2020

[Signature]
Notary Public

[Signature]
Applicant

MARTHA ANTHONY
Notary Public - State of New Jersey
My Commission Expires Nov 13, 2022

Note: All partnerships and corporations must supply a list of
stockholder with a 10% or greater share, they must also be
represented by an Attorney at the hearing.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

LEEN MOSLEY of full age, duly sworn
according to the law, deposes and says that he resides at
46 GREENWICH DRIVE in the Borough of BERGENFIELD
in the County of BERGEN in the State
of N.J. that he is the owner in fee of real
property lying in the Borough of Bergenfield, known and
designated as number _____ and that he
hereby authorizes MYSELF to make the
within application in his behalf and that the statements in
the said application are true.

SWORN TO BEFORE ME THIS 9thDAY OF March 29 2020

DeWend-Horley
Owner

Martha Anthony
Notary Public

MARTHA ANTHONY
Notary Public - State of New Jersey
My Commission Expires Nov 13, 2022

Note: all partnership and corporations must supply a list of
stockholders with a 10% or greater share, that they must also
be represented by an Attorney at the hearing.

**BOROUGH OF BERGENFIELD**

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

February 06, 2020

Leen Mosley

46 Greenwich Drive
Bergenfield, NJ 07621

RE: Sunroom

Dear Mrs. Mosley

Your application to construct a sunroom has been denied for the following reason:

1. Required rear yard 25 sq. feet. Proposed 9 sq. feet.
2. Required lot coverage 2,149 sq. feet. Proposed 2,194 sq. feet.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

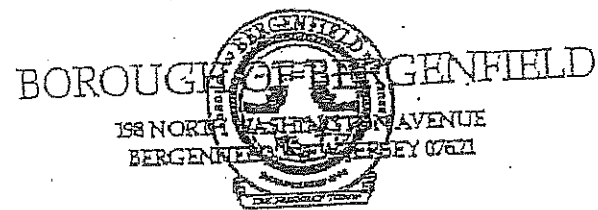
Sincerely,


Michael Ravenda
Zoning Officer

On Thu, Feb 6, 2020 at 10:47 NJSA TEAM <service.njsunroomadditions@gmail.com> wrote:

Good Morning Ms. Mosley, we wanted to send you another update before the weekend. As you know we did submit your permit back on 1/28 to your township. We have spoken to them earlier this week to confirm they do have it in hand. They said it must be reviewed and they will be in touch with the next steps. We will of course be in touch with you as soon as we hear anything. Please feel free to reach out to Brian directly if you have any questions, thank you!

Brian Adams
NJSA



TAX COLLECTOR'S CERTIFICATION
PAYMENT OF PROPERTY TAXES

Date: 3-3-2020
Block: 238 Lot: 1 Address: 46 GREENWICH DRIVE
Owners Name: LEEN MOSLEY
Owner's Address: 46 GREENWICH DRIVE
Phone Number: _____ Cell Number: 201-615-5871

Application for: ☒ Board of Adjustment ☐ Planning Board
☐ Building Department Permit

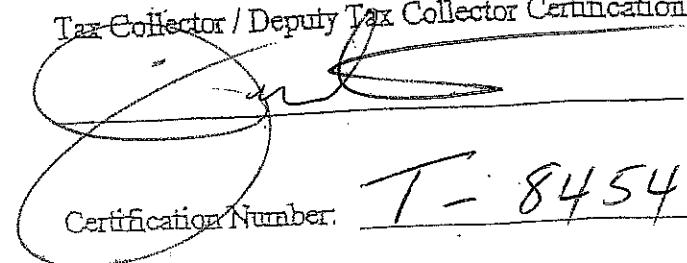
Description of Work to be Performed:
CONSTRUCT A SUNROOM

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit from the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current: ☒ Yes ☐ No Last Quarter Paid On: 1-10-20
(Printout Attached)

Tax Collector / Deputy Tax Collector Certification:


Certification Number: T-8454

3/3/20
Date:

BLQ: 238. 1.		Tax Year: 2020 to 2020								
Owner Name: DEWEERD-MOSLEY, LEEN		Property Location: 46 GREENWICH DRIVE								
Tax Year: 2020		Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total				
Original Billed:		2,692.78	2,692.78	0.00	0.00	5,385.56				
Payments:		2,692.78	0.00	0.00	0.00	2,692.78				
Balance:		0.00	2,692.78	0.00	0.00	2,692.78				
Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2020 Prin Balance
		Description								
		Original Billed								
01/10/20	1	Payment	01		CK	17085	2 E-CHECK	5,385.56		5,385.56
		ONLINE PAYMENTS								
								Total Principal Balance for Tax Years in Range: 2,692.78		

MOSLEY RESIDENCE

Reference and Compliance Report:

The Sunroom complies with the following codes, specifications and testing requirements

- Construction Classification VB Section 602.5 (Low Hazard Occupancy)
- Occupancy Classification R3 IBC & NY Section 310
- Occupancy Classification R5 New Jersey Residential Code
- Fire Resistive Rating = 0 Table 601
- Single Family Dwelling

International Residential Code/ IRC NJ Edition N.J.A.C 5:23-3.21 2015
New Jersey Residential Code 2015
International Building Code IBC 2015

- R301 Building Planning/Climatic and Geographic Design Criteria
- R302.1 Exterior Walls
- R302.2 Openings
- R308.5 Site Built Windows
- R315 Flame Spread and Smoke Density
- And all applicable sections.

International Energy Conservation Code 2015
Table 502.2.5(e)

Chapter 26 Light Transmitting Plastic Roof Panels (CCI ASTM D635)

Sheet 25mm. (Polycarbonate Roof Panel. (See BOCA Evaluation Report 21-41)

- Approved Light Transmitting Plastic Section 2604.1
- Light Transmitting Plastics Section 2606
- Approval For Use Section 2606.2 (See BOCA Evaluation Report 21-41)
- Identification Section 2606.3
- Specifications Section 2606.4
- Structural Requirements Section 2606.5 (See GE Structural and Technical Data Report)
- Fastening Section 2606.6 (See GE Structural and Technical Data Report)
- General Section 2609.1
- Separation Section 2609.2 (Not Required)
- Human Impact Loads Section 2406.1
- ASTM D1929, ASTM D2843
- ASTM D635, ASTM E331
- ASTM E773, ASTM E774
- ASTM E 84 SMOKE DENSITY 275
- ASTM E 84 FLAME SPREAD 120
- ASTM E1886, E1996 (ATI Testing Lab. Report 5212.01-122-44)
- UL Rating UL746B 212 DEG F
- U= .32 R=3

Glass Sealed Units Specifications (ATI Test Report 01-46690.01)

-
- ANSI/AAMA/NWDA 101/IS.2-97
- AAMA Rating DA-C55 48 x 74
- ASTM E283-99 Glass Air Infiltration
- ASTM E547 Water Resistance
- ASTM 588 Forced Entry
- E330-97 Uniform Load Deflection and Structure

Safety Tempered Glass Specification

- ANSI Z97.1-1984
- SGCC 300 3MMU
- 16FR 1201 IT
- 4903

SUPPORTING STRUCTURE
DESIGN LOADS/CRITERIA

DEAD LOADS	
WEIGHT OF ROOF	VARIES WITH PRODUCT 3-12 PSF
WEIGHT OF WALLS	5 PSF
WEIGHT OF FLOOR	10 PSF
SNOW LOADS	
ROOF SNOW LOAD	40 PSF
SNOW EXPOSURE FACTOR	1.0
THERMAL FACTOR	1.2
SNOW LOAD IMPORTANCE	1.0
LIVE LOADS	
ROOF	20 PSF
FLOOR	40 PSF
WIND LOADS	
BASIC WIND SPEED	130 MPH
GUST EFFECT FACTOR (G)	0.85
WIND IMPORTANCE FACTOR	1.0
WIND EXPOSURE	C
SOILS AND FOUNDATIONS	
ALLOWABLE FOUNDATION PRESSURE	1500PSF
FROST DEPTH	36"
CONCRETE	3000 PSI
DEFLECTION LIMITS	
ROOF MEMBERS	L/240
EXTERIOR WALLS	L/120

SUNROOM IS CATEGORY 111 (3) (thermally isolated) unconditioned

ALL COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND DETAILS AND SHALL ADHERE TO ALL APPLICABLE CODES

RESIDENTIAL ADDITION
MOSLEY RESIDENCE
46 GREENWICH DRIVE BERGENFIELD NJ

TITLE PAGE

Project No. NAME
Drawn By
Checked By:
Date
Scale

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
N.J 07092

CIRANGLE
ARCHITECTS
License No 10677

14, PLAZA NINE, MANALAPAN,NJ, 07726
TEL - (732) 303 7822 CELL - (732) 303 7822
FAX - (732) 303 7833 EMAIL-lciran@aol.com

A

1. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE TO VERIFY AND BECOME AWARE OF EXISTING CONDITIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF GARBAGE, EXCESS DEBRIS AND UNUSED MATERIALS. THE SITE SHALL BE LEFT IN ITS ORIGINAL CONDITION. THE CONTRACTOR SHALL GET THE OWNERS APPROVAL BEFORE REMOVING ANY EXCESS MATERIALS.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AN ORDERLY, CLEAN CONSTRUCTION SITE AND SHOULD MINIMIZE ANY INCONVENIENCE OR INTRUSION TO THE OWNER. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED AT ALL TIMES.
4. THE CONTRACTOR SHALL PROVIDE FULL PROOF OF LICENSE AND INSURANCE, INCLUDING CERTIFICATES OF INSURANCE FROM ALL SUBCONTRACTORS UNDER THIS CONTRACT.
5. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL EXISTING CONDITIONS IN THE FIELD. IF THERE IS ANY VARIATION FROM THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT BEFORE PROCEEDING. DO NOT SCALE DRAWINGS.
6. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS WITH THE LOCAL BUILDING DEPARTMENT AND PROVIDE THE OWNER WITH COPIES OF ALL APPROVALS OF SUCH INSPECTIONS BEFORE PROCEEDING TO THE NET PHASE OF CONSTRUCTION.
7. VERIFY LOCATION OF UNDERGROUND UTILITIES WITH LOCAL TELEPHONE & GAS COMPANIES AS WELL AS WATER & SEWER DEPARTMENTS BEFORE COMMENCEMENT OF ANY ECAVATION.
8. ALL FOOTINGS SHALL BE A MINIMUM DEPTH REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND THE APPLICABLE STATE CODE. ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL. STEP FOOTINGS AS REQUIRED TO MAINTAIN MINIMUM FOOTING DEPTH. THE CONTRACTOR SHALL VERIFY, WITH TEST PITS AND ANY MEANS NEXCESSARY THAT ALL EXISTING FOOTINGS & FOUNDATIONS RELATING TO THE SUPPORT OF ANY AND ALL NEW STRUCTURES ARE IN SOUND CONDITION AND MEET THE MINIMUM DEPTH REQUIREMENTS OF THE LOCAL BLDG. DEPARTMENT. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SUCH CONDITIONS TO THE ARCHITECT.
9. CONCRETE SHALL DEVELOP A STRENGTH OF 3000 PSI IN 28 DAYS
- FOR SUNROOMS THAT ARE BUILT ON SLAB THE FOLLOWING
NOTES 10 & 11 APPLY. SEE SHEET A-5 FOR DETAILS
10. EARTH FILL UNDER CONCRETE SLABS SHALL BE FREE FROM WATER AND HAZARDOUS MATERIALS. ALL BACKFIELD BENEATH CONC. SLABS SHALL BE WELL TAMPED AND COMPACTED BEFORE SLABS ARE POURED.
11. MASONRY MATERIALS AND INSTALLATION SHALL COMPLY WITH BLDG. CODE REQUIREMENTS FOR MASONRY AND THE MOST RECENT APPLICABLE STATE CODE. -

12. ALL LUMBER USED IN CONSTRUCTION SHALL BE DOUGLAS FIR #2 OR BETTER MINIMUM Fb =1200 PSI AND E = 1.1 X 1000000. ALL STRUCTURAL HEADERS AND GIRDERS SHALL HAVE 4 X 4 OR 6 X 6 POSTS AT EACH END AS REQUIRED BY STUD SIZES.
13. ALL LUMBER SHALL BE EXTERIOR GRADE. AS REQUIRED ALL EXTERIOR STEEL, JOIST HANGERS, LAG BOLTS, NAILS AND SCREWS SHALL BE GALMOSLEYZED. SIMPSON CONNECTORS (HOT DIPPED) & SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND DETAILS
14. ALL WINDOWS, DOORS AND OPENINGS THAT REQUIRE STRUCTURAL HEADERS SHALL MEET MINIMUM REQUIREMENTS AS SHOWN IN GIRDER SCHEDULE.
15. ALL EXTERIOR OPENINGS SHALL BE CAULKED, FLASHED AND WEATHER-STRIPPED.
16. ALL PLUMBING WORK SHALL CONFORM WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND THE MOST RECENT ADDITION OF THE APPLICABLE STATE CODE. ALL PLUMBING WORK SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR.
17. HVAC NOTE: ALL HVAC COMPONENTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH APPLICABLE CODES
18. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL FIRE PROTECTION AGENCY (N.F.P.A.), NATIONAL ELECTRIC CODE (N.E.C.) AND THE LOCAL UTILITY COMPANY.
19. ALL DOORS AND WINDOWS TO UNHEATED SPACES SHALL BE INSULATED AS PER LOCAL AND STATE CODES.
20. THE SUN ROOM SHALL BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURERS SPECIFICATIONS AND DETAILS
ALL WINDOWS SHALL MEET THE MINIMUM LIGHT, VENTILATION AND EGRESS REQUIREMENTS SET FORTH BY LOCAL AND STATE CODES. ALL WINDOWS SHALL BE DOUBLE GLAZED. VERIFY ALL CATALOG NUMBERS IN THE FIELD.
21. A VAPOR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF ALL CONSTRUCTION.
22. INSULATION SHALL BE INSTALLED IN ALL FRAMED WALLS BETWEEN HEATED AND UNHEATED SPACES AS PER LOCAL, STATE, AND CONSERVATION CONSTRUCTION CODES. WHERE APPLICABLE CONCRETE SLAB INSULATION SHALL BE 2" STYROFOAM.
- 22A. PROVIDE VENT BLOCKS IN CRAWL SPACE AS REQ'D WHEN APPLICABLE.
23. THE CONTRACTOR SHALL VERIFY, THROUGH PROFESSIONAL LABORATORY TESTING, IF ANY ASBESTOS OR LEAD IS CONTAINED IN ANY MATERIALS TO BE DISTURBED OR REMOVED. IF SUCH MATERIALS ARE FOUND THE CONTRACTOR SHALL PROVIDE A LICENSED PROFESSIONAL TO EXECUTE REMOVAL. THE CONTRACTOR SHALL SUPPLY TO THE OWNER PROOF OF LICENSING AND RECEIPTS OF PROPER DISPOSAL.
24. THE WORD " PROVIDE " MEANS THE CONTRACTOR SHALL SUPPLY AND INSTALL.
25. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL AND STATE CODES.
26. THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING SITE CONDITIONS MEET LOCAL CODES, BULK REQ'MNTS AND STATE CODES.
THE ARCHITECT IS NOT RESPONSIBLE FOR SITE AND SURVEY INFORMATION. ALL CORRESPONDENCE WITH THE LOCAL TOWN RELATING TO BULK REQUIREMENTS, PERMITS, VARIANCES ETC.. IS THE RESPONSIBILITY OF THE CONTRACTOR.
27. ALL NEW CONSTRUCTION SHALL ALIGN AND MATCH EXISTING.
28. THE CONTRACTOR IS RESPONSIBLE FOR ACCURATELY REPORTING EXISTING CONDITIONS AS SHOWN ON THE PLANS. INCLUDING BUT NOT LIMITED TO:
STRUCTURAL HEADERS AND ALL STRUCTURAL COMPONENTS FRAMING MEMBERS IN FLOORS, WALLS AND CEILINGS FOUNDATIONS, FOOTINGS AND STRUCTURAL CONNECTORS
NOTIFY ARCHITECT OF CHANGES AND/OR DISCREPANCIES.
29. TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGMENT THESE DRAWINGS CONFORM TO THE FOLLOWING CODES:
INTERNATIONAL RESIDENTIAL CODE 2015, NJ EDITION
30. ENERGY CONSERVATION CODE REFERENCE:
THERMAL ISOLATION MUST BE MAINTAINED WITH A CODE APPROVED THERMAL BARRIER
PROVIDE EXTERIOR GRADE DOORS/ WINDOWS WITH ARGON-FILLED, LOW-E INSULATING GLASS, EXTERIOR GRADE FINISH & CORROSION RESISTANT HINGES AS MANUFACTURED BY "PELLA" OR EQUAL.
HVAC PROVIDED SHALL BE ON A SEPERATE ZONE OR A SEPERATE SYSTEM FROM THE MAIN STRUCTURE.

RESIDENTIAL ADDITION
MOSLEY RESIDENCE
46 GREENWICH DRIVE BERGENFIELD NJ

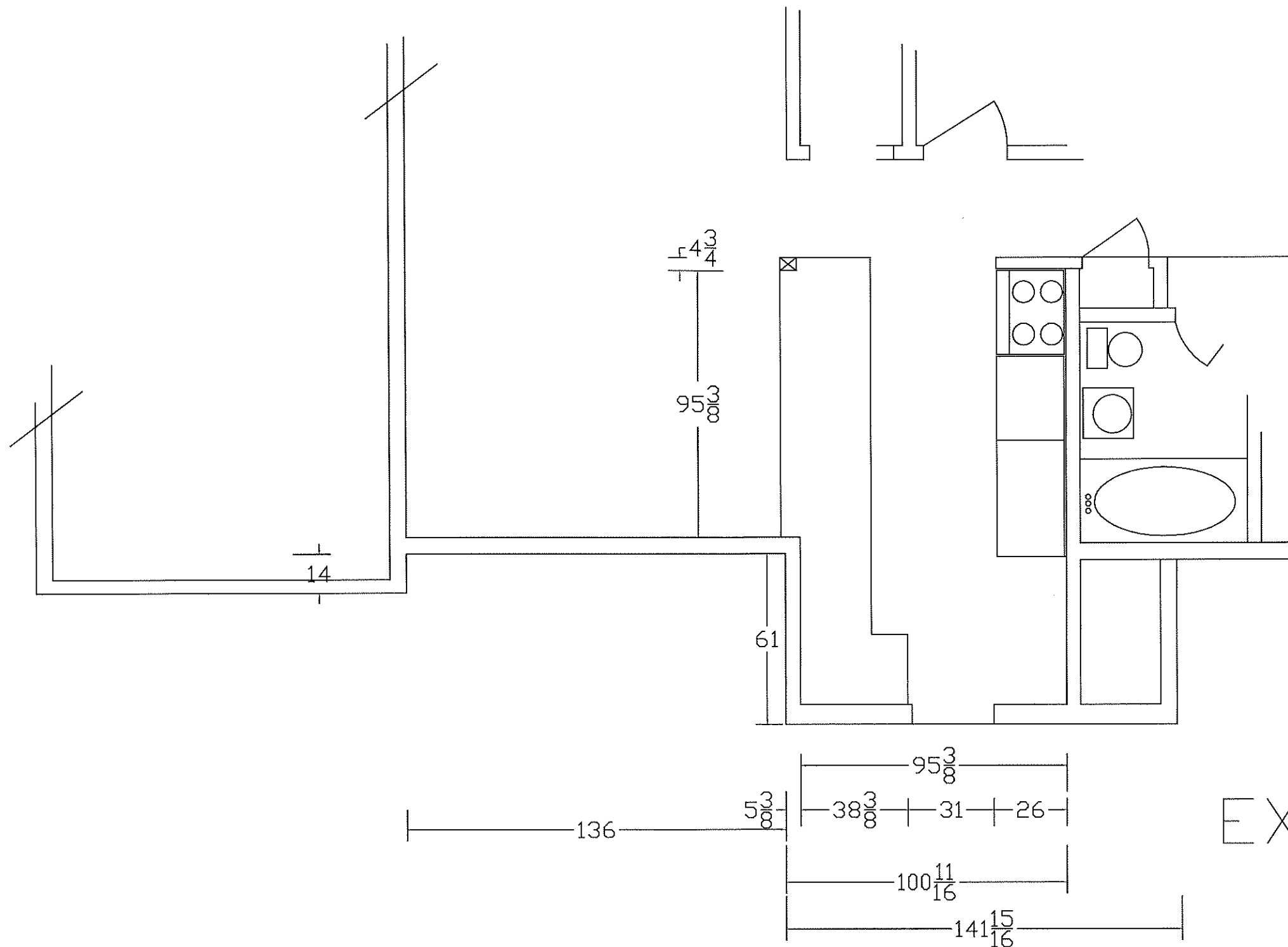
GENERAL NOTES

Project No.
Drawn By
Checked By:
Date
Scale

N.J.S.A.
1199 Rt 22 EAST
MOUNTAINSIDE
N.J 07092

CIRANGLE
ARCHITECTS
License No 10677
14, PLAZA NINE, MANALAPAN,NJ, 07726
TEL - (732) 303 7822 CELL - (732) 303 7822
FAX - (732) 303 7833 EMAIL-lciran@aol.com

A



I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE NJSA TO PLACE MY ORDER INTO MANUFACTURE.

SIGNED
PRINT

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
NJ 07092

MOSLEY RESIDENCE
46 GREENWICH DRIVE
BERGENFIELD
NJ

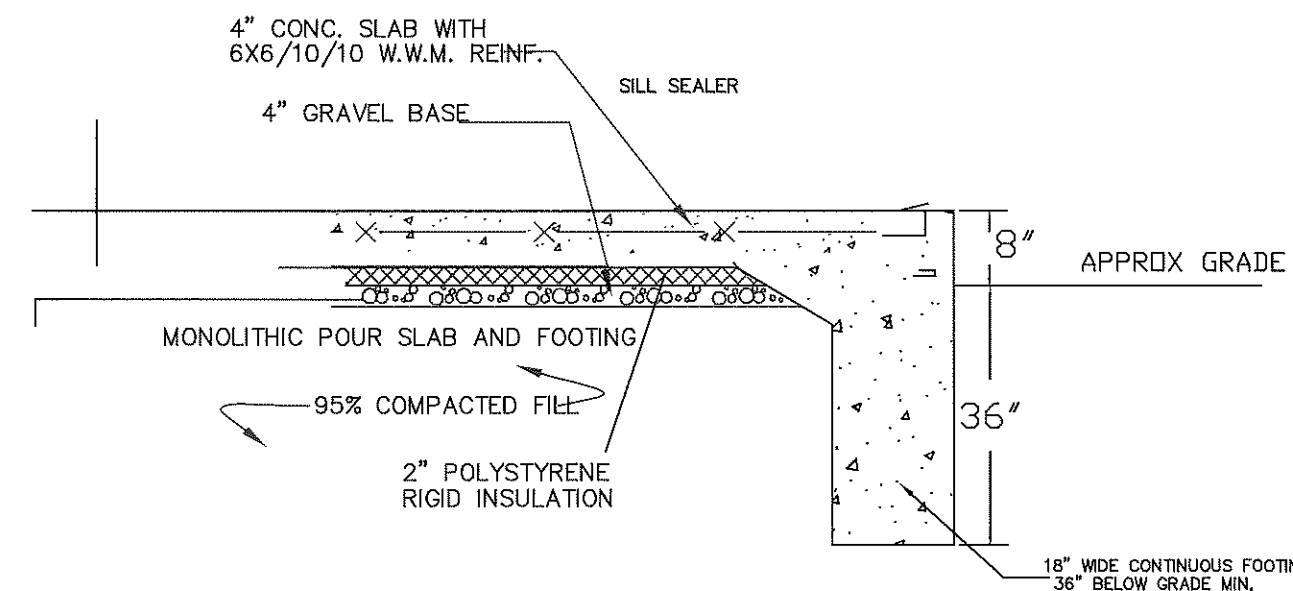
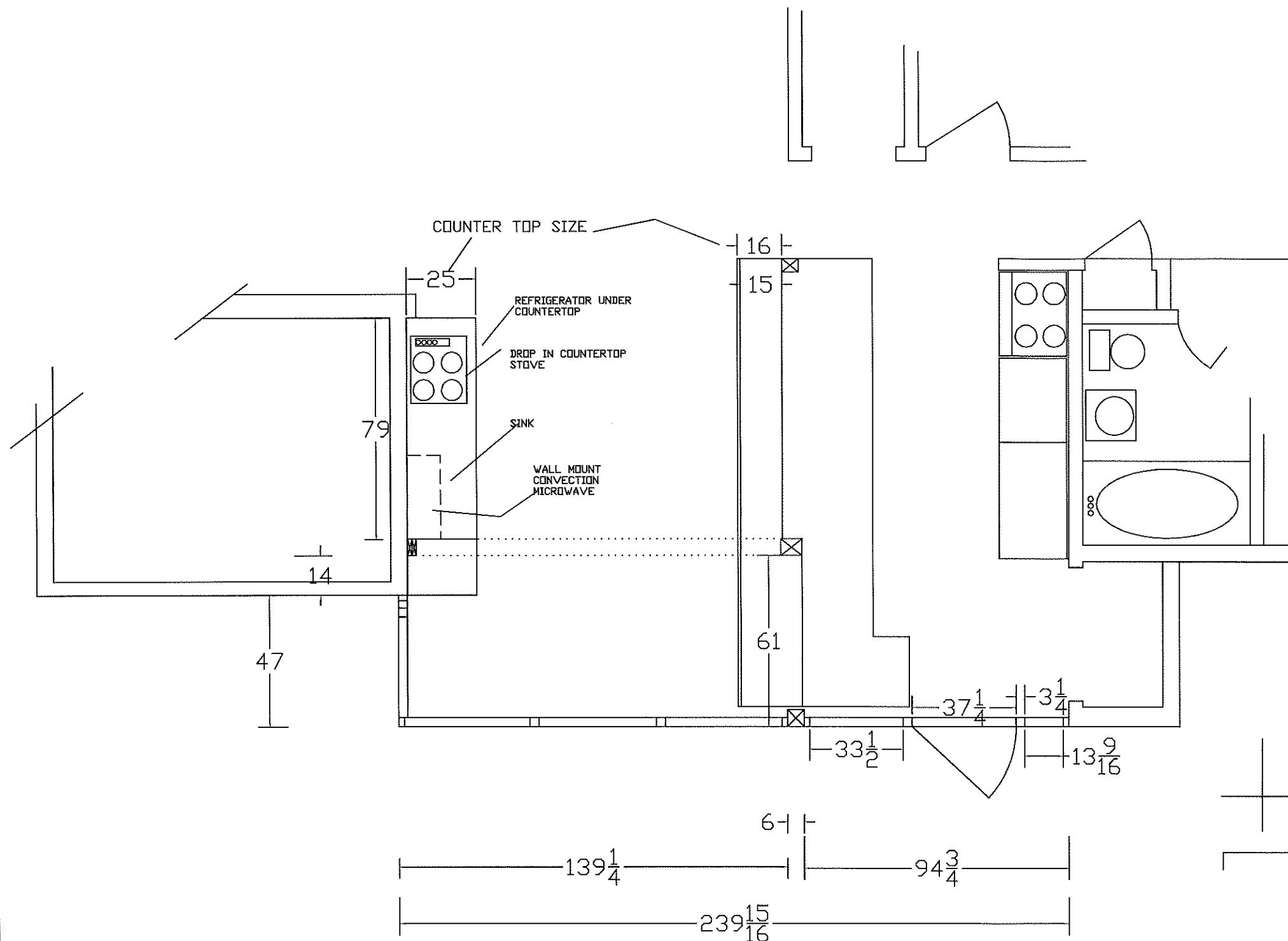
CIRANGLE
ARCHITECTS

License No 10677

14, PLAZA NINE, MANALAPAN, NJ, 07726

TEL - (732) 303 7822 CELL - (732) 303 7822

A-3



I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE NJSA TO PLACE MY ORDER INTO MANUFACTURE.

SIGNED _____
PRINT

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
NJ 07092

MOSLEY RESIDENCE
46 GREENWICH DRIVE
BERGENFIELD
NJ

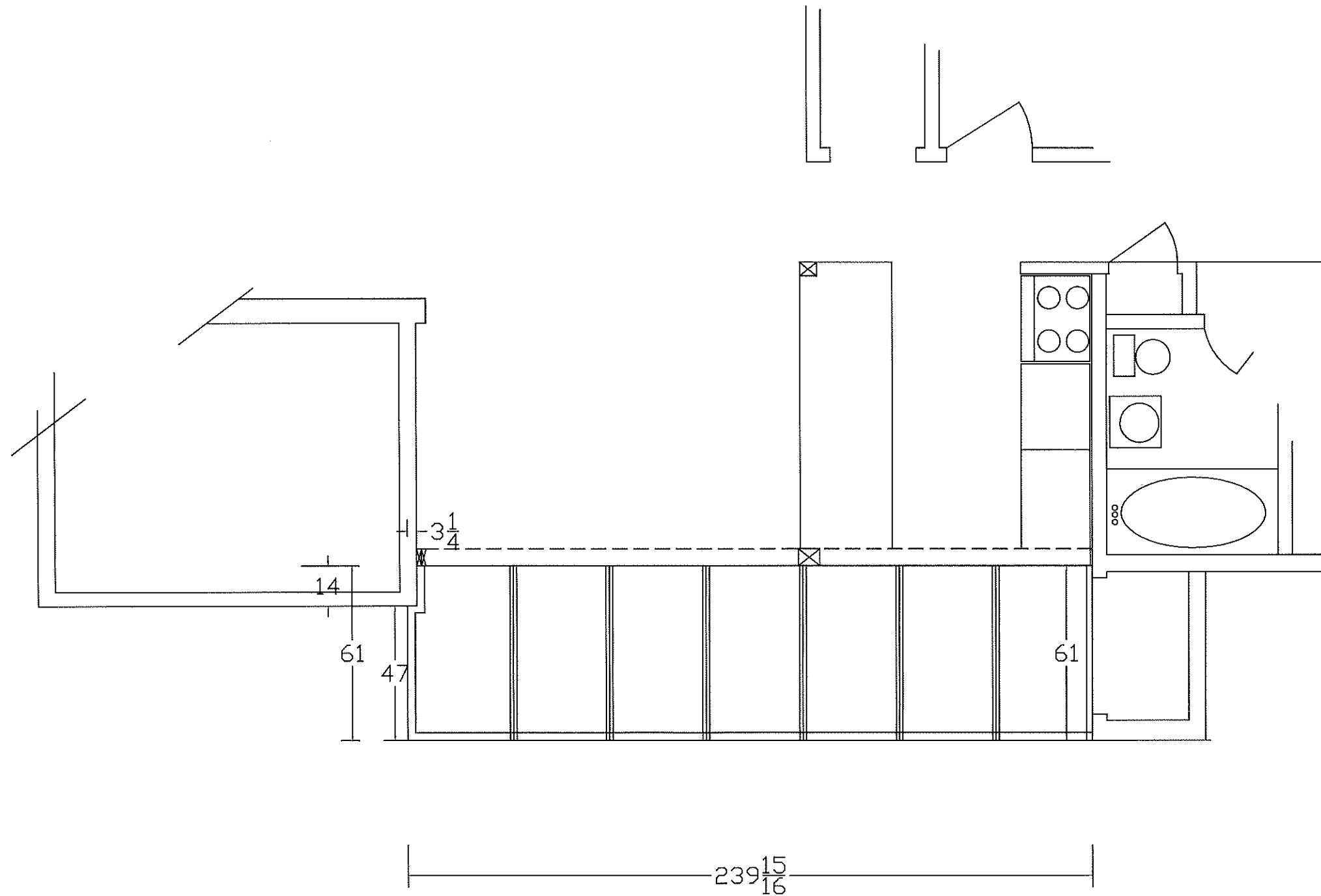
CIRANGLE
ARCHITECTS

License No 10677

14, PLAZA NINE, MANALAPAN, NJ, 07726

TEL - (732) 303 7822 CELL - (732) 303 7822

A-4



I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE NJSA TO PLACE MY ORDER INTO MANUFACTURE.

SIGNED
PRINT

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
NJ 07092

MOSLEY RESIDENCE
46 GREENWICH DRIVE
BERGENFIELD
NJ

CIRANGLE
ARCHITECTS

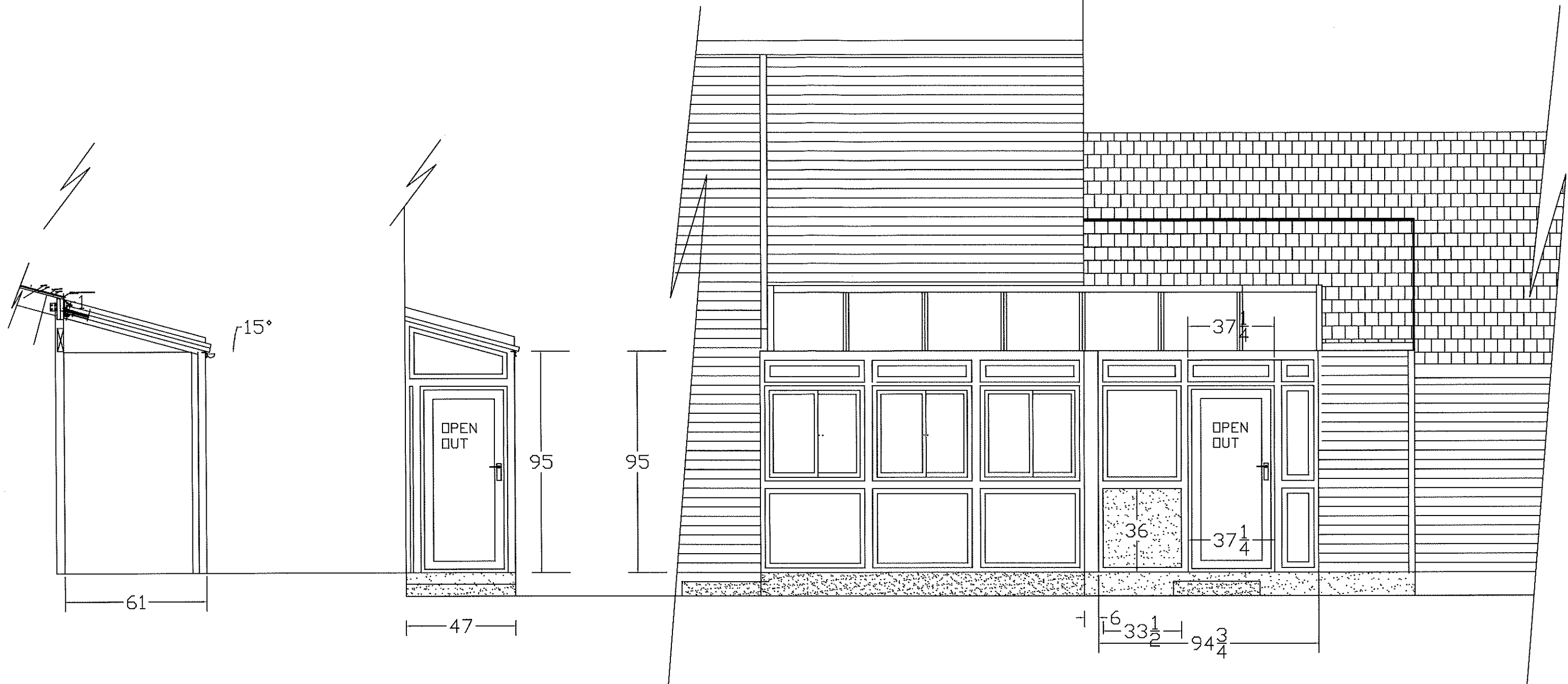
License No 10677

14, PLAZA NINE, MANALAPAN, NJ, 07726

TEL - (732) 303 7822 CELL - (732) 303 7822

FAX - (732) 303 7822 EMAIL - info@cirangle.com

A-5



I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE NJSA TO PLACE MY ORDER INTO MANUFACTURE.

SIGNED _____
PRINT

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
N.J. 07092

MOSLEY RESIDENCE
46 GREENWICH DRIVE
BERGENFIELD
NJ

CIRANGLE
ARCHITECTS

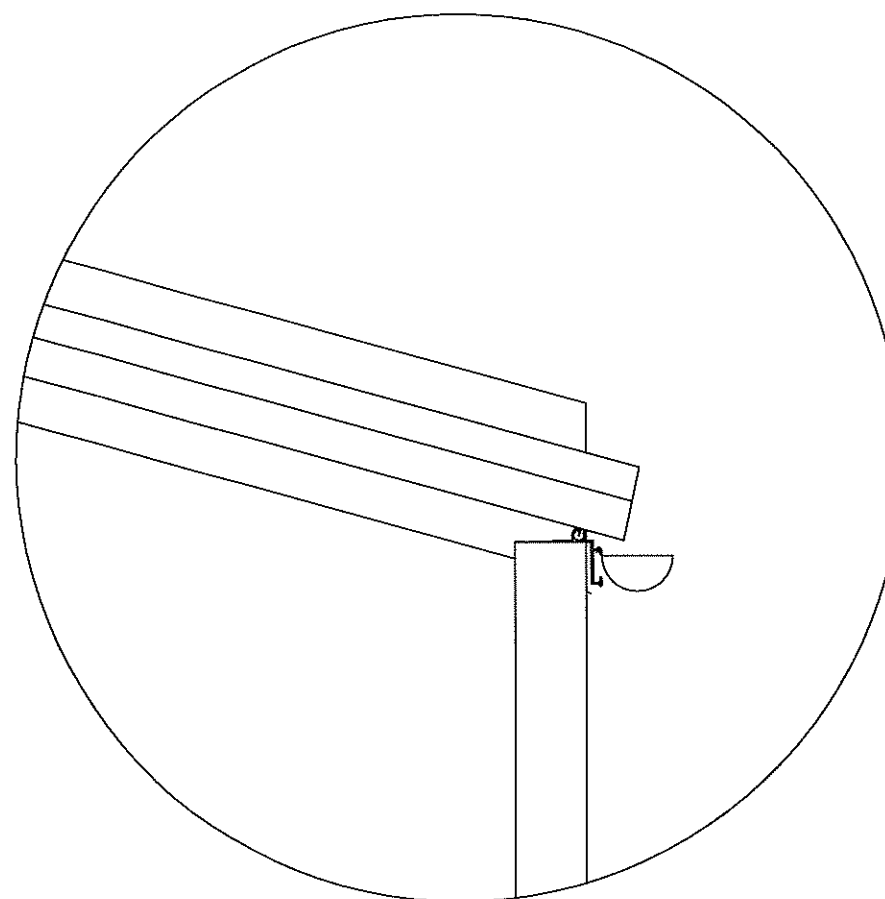
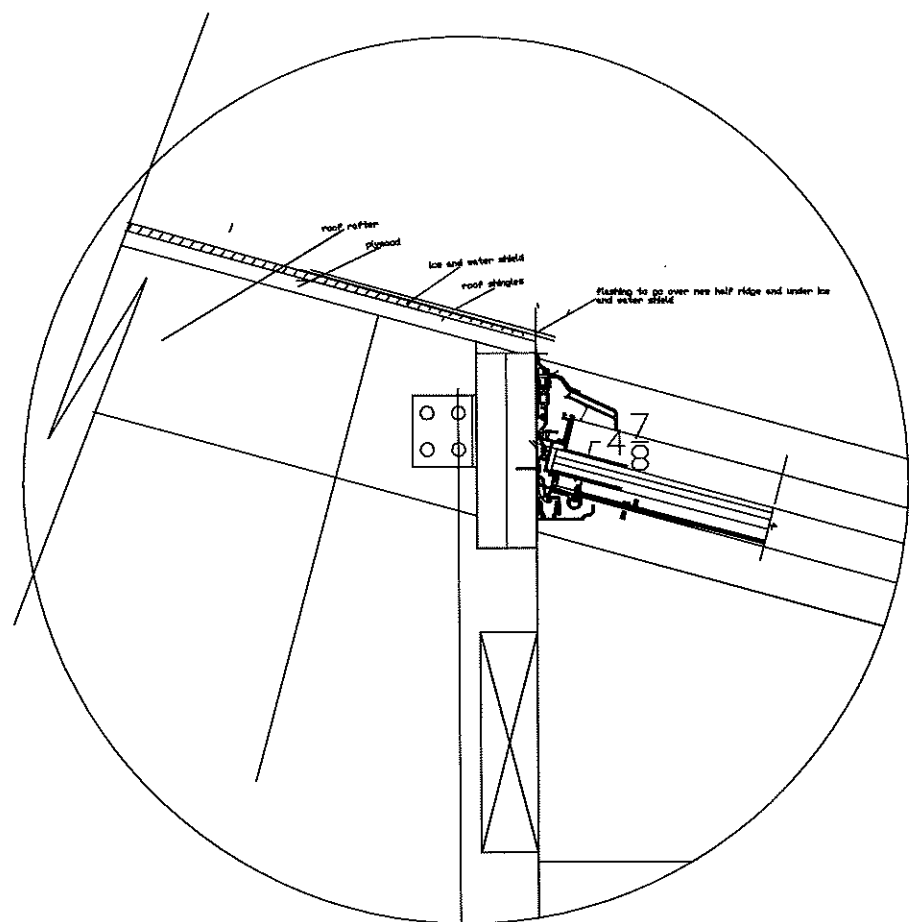
License No 10677

14, PLAZA NINE, MANALAPAN, NJ, 07726

TEL - (732) 303 7822 CELL - (732) 303 7822

FAX - (732) 303 7822 EMAIL - c@cirangle.com

A-6



I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE NJSA TO PLACE MY ORDER INTO MANUFACTURE.

SIGNED _____
PRINT

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
N.J. 07092

MOSLEY RESIDENCE
46 GREENWICH DRIVE
BERGENFIELD
NJ

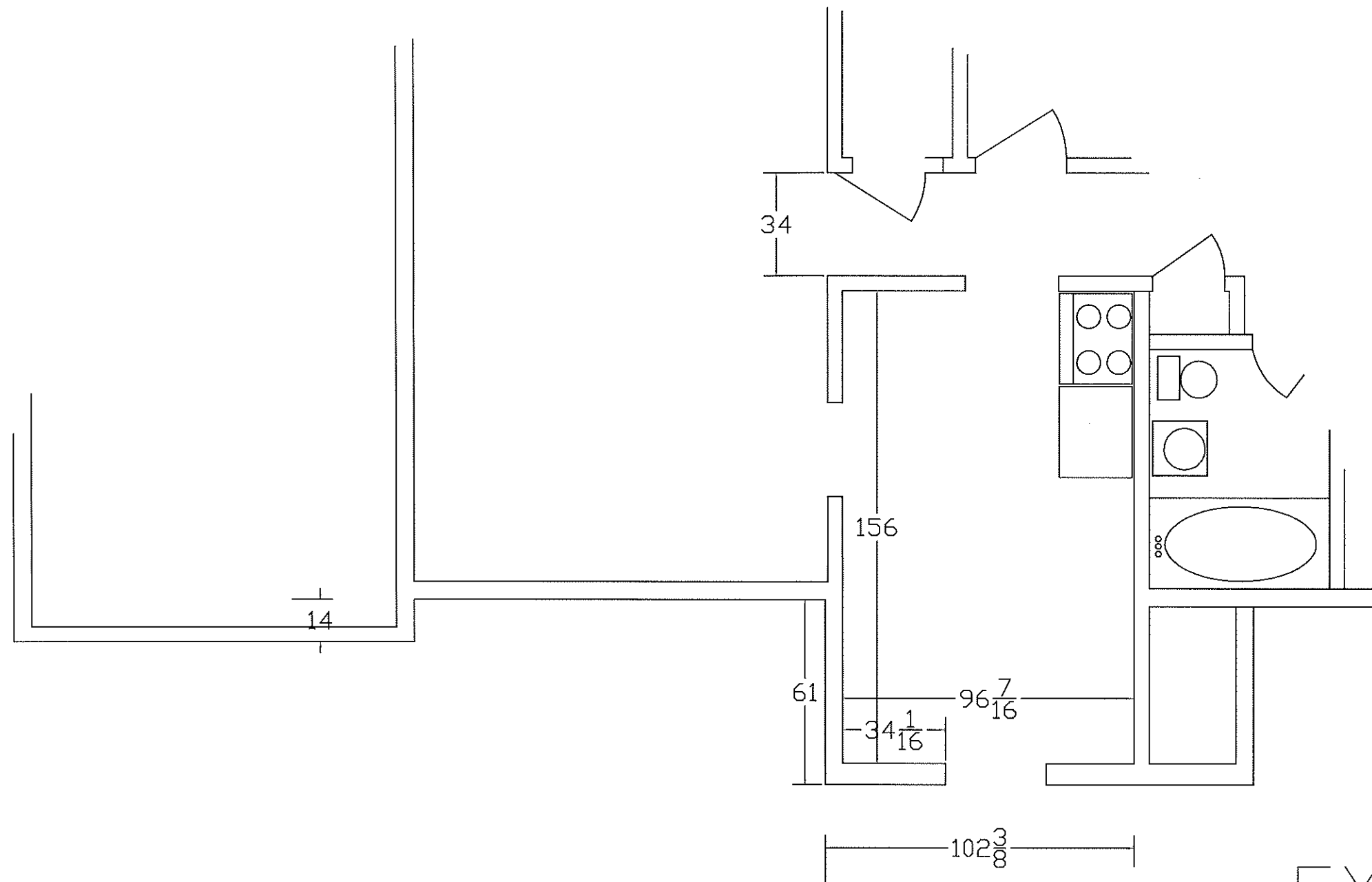
CIRANGLE
ARCHITECTS
License No 10677

14, PLAZA NINE, MANALAPAN, NJ, 07726

TEL - (732) 303 7822 CELL - (732) 303 7822

FAX - (732) 303 7822 EMAIL - clan@cirangle.com

A-7



EXISTING

I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE NJSA TO PLACE MY ORDER INTO MANUFACTURE.

SIGNED
PRINT

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
N.J 07092

MOSLEY RESIDENCE
46 GREENWICH DRIVE
BERGENFIELD
NJ

CIRANGLE
ARCHITECTS

License No 10677

14, PLAZA NINE, MANALAPAN, NJ, 07726

TEL - (732) 303 7822 CELL - (732) 303 7822


FAX - (732) 303 7833 EMAIL - cirangle@aol.com

A-3

 OUTLETS

 FAN/LIGHT

 EXTERIOR LIGHT

 SWITCH

 RECESSED LIGHTS

ELECTRICAL NOTES

1. This project shall comply with the code requirements as per the National Electrical Code (NFPA 70) 2014
2. All electrical devices are shown for architectural location only. The Electrical Subcontractor is responsible for actual device location, circuitry, adequacy and quantities

I / WE THE CUSTOMER HAVE CHECKED THE FINAL DRAWINGS, AND CONFIRM THAT THE DESIGN AND SIZES SHOWN ARE CORRECT AND NOW AUTHORISE TOTAL CONSERVATORIES TO PLACE MY ORDER INTO MANUFACTURE.

SIGNED _____
PRINT

N.J.S.A.

1199 Rt 22 EAST
MOUNTAINSIDE
N.J 07092

MOSLEY RESIDENCE
46 GREENWICH DRIVE
BERGENFIELD
NJ

CIRANGLE
ARCHITECTS
License No 10677

14, PLAZA NINE, MANALAPAN, NJ, 07726
TEL - (732) 303 7822 CELL - (732) 303 7822
FAX - (732) 303 7822 EMAIL - info@cirangle.com

E-1

1
FILE NO. _____ DATE 7.22.20
DATE OF HEARING 8.3.2020 DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME JESSICA XIONG
ADDRESS 55-25 98 PL WA CORONA, NY 11368
OWNER'S NAME JOY VARGHESE
OWNER'S ADDRESS 405 S. WASHINGTON AVE PHONE # 201.724-2287
BERGENFIELD, NJ
85-1806416 FED I.D.# or S S _____

Applicant will be represented at public hearing by CURTIS J. LAFORGE

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the requirements of Section(s) non-permitted use and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at
NUMBER: 60 PORTLAND AVE, BERGENFIELD

DESIGNATED AS Block(s) 127 and Lot(s) 1
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT _____

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____
LOT COVERAGE _____ FRONT YARD _____ REAR YARD _____ SIDE YARD _____
TOTAL SIDE YARD _____ OTHER (specify) _____

THE REASON FOR DESIRED VARIANCE/APPEAL
non-permitted use is permitted

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 50 x 75 2. SQUARE FEET IN LOT 3750
3. SIZE OF PRESENT BUILDINGS 2000 4. STORIES 2
5. TOTAL AREA 2000 SQ. FT. 6. NUMBER OF ROOMS 8
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 40%
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY (2) TENANTS
(1) DANIEL RODRIGO MENDEZ DE LEON - 201-481-0184 (CONSTRUCTION CO.)
(2) SIDERS SENIOR LLC - 201-953-5440 - ATHANASIO PAPPALOUKAS
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES NO ☒ (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY YES
(LEFT) CONVENIENT STORE, (RIGHT) KUKKEN BROTHERS LAMBAR YARD
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES? YES NO ☒ IF SO, DATE FILED DISPOSITION
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE? YES NO ☒ (IF SO, EXPLAIN)
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE? YES NO ☒
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD? YES NO ☒
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER MUNICIPALITY? YES NO ☒

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO ☒
17. SIZE OF NEW ADDITION NO E _____ SQ. FT.
 _____ AREA _____ HEIGHT
18. SIZE OF NEW BUILDINGS _____ E _____ SQ. FT. NO
 _____ AREA _____ HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
40/45 %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR
Commercial Zone No Residence

NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate location survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

BOROUGH OF BERGENFIELD
NOTICE TO PROPERTY OWNERS

Notice is hereby given that the ZONING BOARD of ADJUSTMENT of the BOROUGH of BERGENFIELD will hold a public hearing at the Municipal Building, 198 North Washington Avenue, Bergenfield, N.J.

on AUGUST 3rd evening (date), 2020

at 8:00 p.m. or as soon thereafter as the applicant may be heard, to hear and consider the application/appeal of _____

DENIAL FOR NEW BUSINESS

for A VARIANCE FOR A NON PERMITTED

USE. THE CONSTRUCTION OF A SALON

FOR HAIR, NAILS & MASSAGE

The said premises are designated as Lot(s): 1

Block: 107

on the current Tax Assessment Map of the Borough of Bergenfield, and are commonly known by street address as:

60 PORTLAND AVE, BERGENFIELD

These premises are bounded by JOY VARGHESE

Any maps and documents for which approval is sought by the applicant are available for public inspection between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday, at the Construction Code Office, located in the Municipal Building, 198 North Washington Avenue, Bergenfield. All persons or property owners interested in this appeal may be heard either in favor of or opposed to the application before the Board at the aforesaid time and place.

By order of the Board of Adjustment of Bergenfield

AFFIDAVIT BOARD OF ADJUSTMENT

OF THE

BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY

COUNTY OF BERGEN

SS:

JESSICA XIONG
Name of Applicant

BOROUGH OF BERGENFIELD

JESSICA XIONG being dully sworn deposes
SS-25 98 PL APT. 6A,
and says; that he reside at number CORONA, in the state of
NEW YORK, and says that he is the appellant making appeal
for a variation/appeal of the provisions of the Provisions of the Zoning
Ordinance of the of the Borough of Bergenfield in connection with the
property which is the subject matter of this appeal and known as
number _____ designated as Block 127 and Lot 1 on
the Assessment Map of the Borough of Bergenfield. That all statements
made in this application, and statements made in the plans submitted
herewith are true. The applicant further states that he is ready and able
to proceed with the construction if and when the application is granted.

Sworn to me this- 22nd
day of July 2000

Miriam Mantilla
Notary Public
MIRIAM J. MANTILLA
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires Apr. 18, 2021

Jessica Xiong
Applicant

Note: All partnerships and corporations must supply a list of stockholder with
a 10% or greater share, they must also be represented by an Attorney at the hearing.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

JOY VARGHESE of full age, dully sworn according
to the law, deposes and says that he resides at 600 Portland Ave in the
Borough of Bergenfield in the country of U.S./Bergen in
the State of New Jersey that he is the owner in fee of real property
lying in the Borough of Bergenfield, known and designated as number
_____ and the he hereby authorizes _____ to
make the within application in his behalf and that the statements in the said
application are true.

Sworn to before me this July
Day of 23 2020

Joy Varghese
Owner

[Signature]
Public Notary

GEORGE A. HERNANDEZ
NOTARY PUBLIC OF NEW JERSEY
My Commission Expires 1/4/2021

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater
share, that they must also be represented by an Attorney at the hearing.



CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

January 31, 2020

Jessica Xiong
60 Portland Avenue
Bergenfield, NJ 07621

RE: Massage-Body work.

Dear Ms. Xiong

Your application to open a massage-body work has been denied for the following reason:

1. Non permitted use.

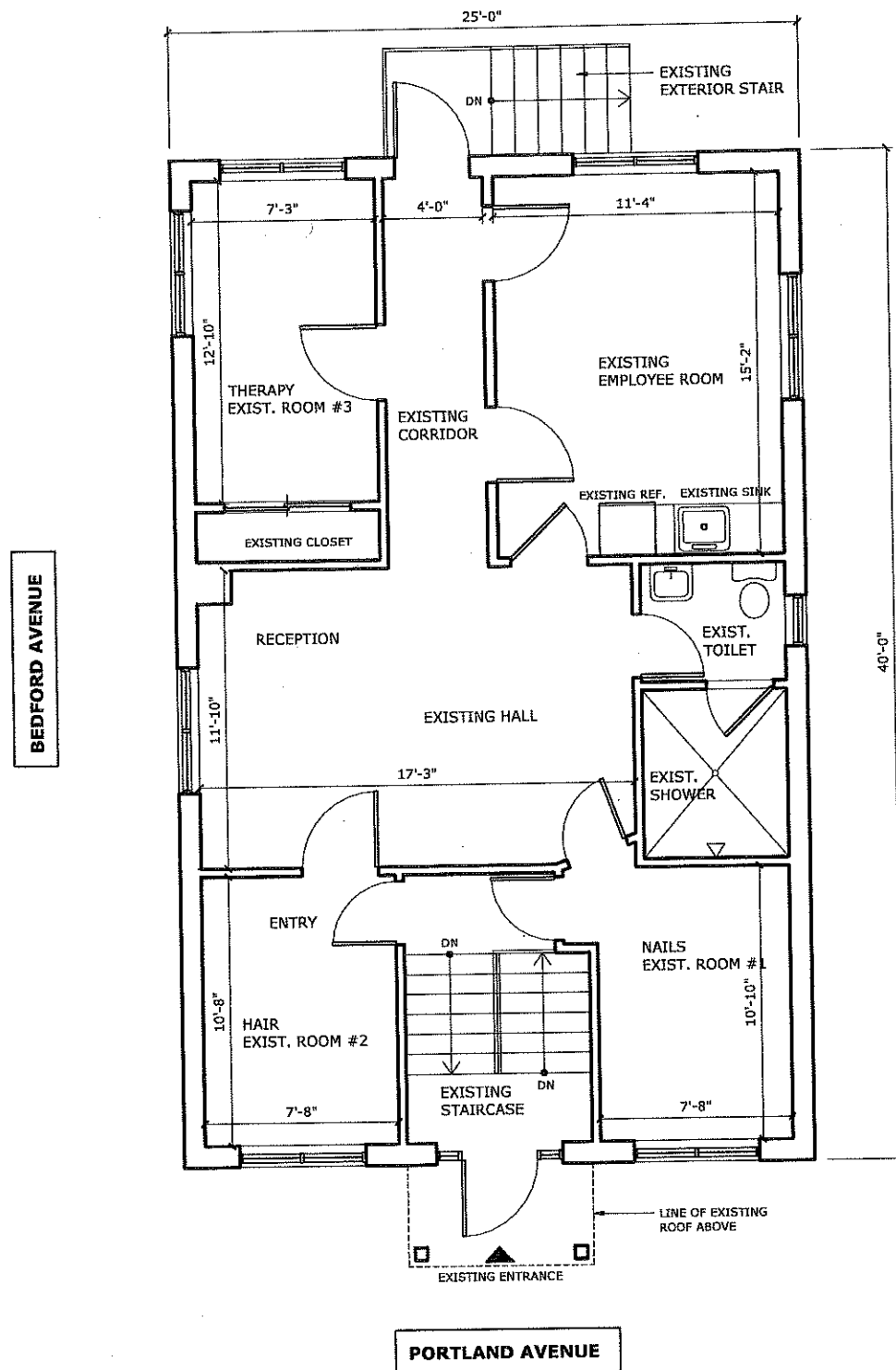
You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Ravenda", is written over a horizontal line.

Michael Ravenda
Zoning Officer

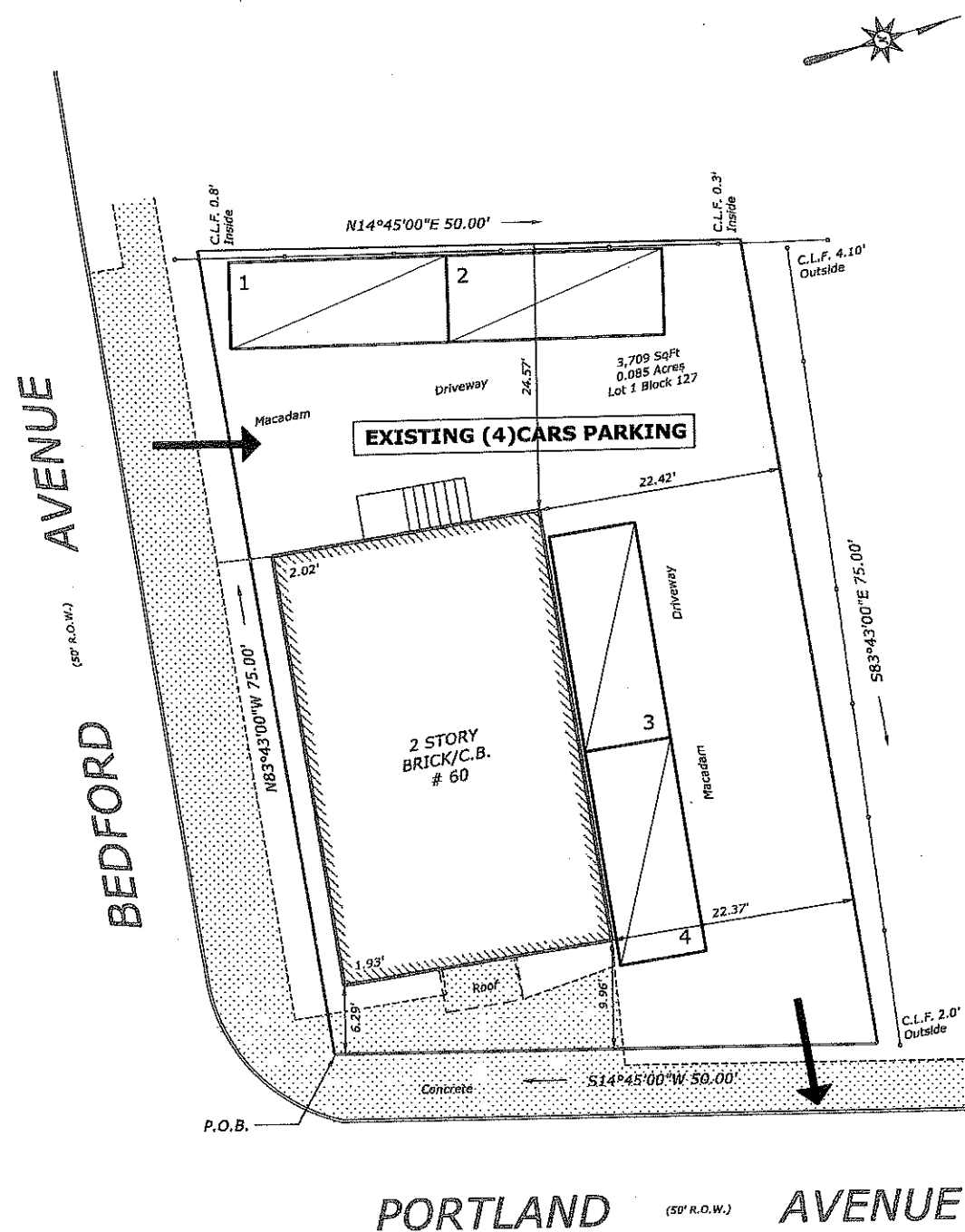


UPPER LEVEL PLAN

SCALE : 3/16"=1'-0"

JW HOLISTIC SPA

This certification is made only to the named parties for purchase and/or mortgage of land or interests therein by the named parties and/or their representatives. It is not to be used for any other purpose including, but not limited to, use of survey for survey, title, or to any other person named in certification, either directly or indirectly.



Property Corners Omitted By Contractual Agreement
Certified to: Joy Varghese

Lot 1 Block 127 on the Borough of Bergenfield Tax Map
Date - Location Survey - August 29, 2020
Drawn By - PC
Scale - 1" = 10'
Checked By - GJA

Map Of Property Situated At:
90 Portland Avenue in the Borough of
Bergenfield, Bergen County, New Jersey



P.O. Box 430 Saddle Brook, NJ 07663
O - 201.291.0950 F - 201.291.0953
bullseyesurveying@gmail.com

George J. Anderson
GEORGE J. ANDERSON
LIC. No. 36706
NJ COA 24GA28142500



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NJ 07621
(201) 387-4055 x 4 FAX (201) 385-7376

TAX COLLECTOR'S CERTIFICATION PAYMENT OF PROPERTY TAXES

Date 7/23/20
Block 127 Lot 1 Address 60 Portland Ave. Bergenfield NJ 07621
Owners Name Joy Varghese
Owner's Address 465 South Washington Ave. Bergenfield NJ 07621
Phone Number _____ Cell Number 201 724 2287
Application for: ☒ Board of Adjustment ☐ Planning Board
☐ Building Department Permit

Description of Work to be performed:

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit From the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current ☒ Yes ☐ No Last Quarter Paid On: 6/1/20
(Printout Attached)

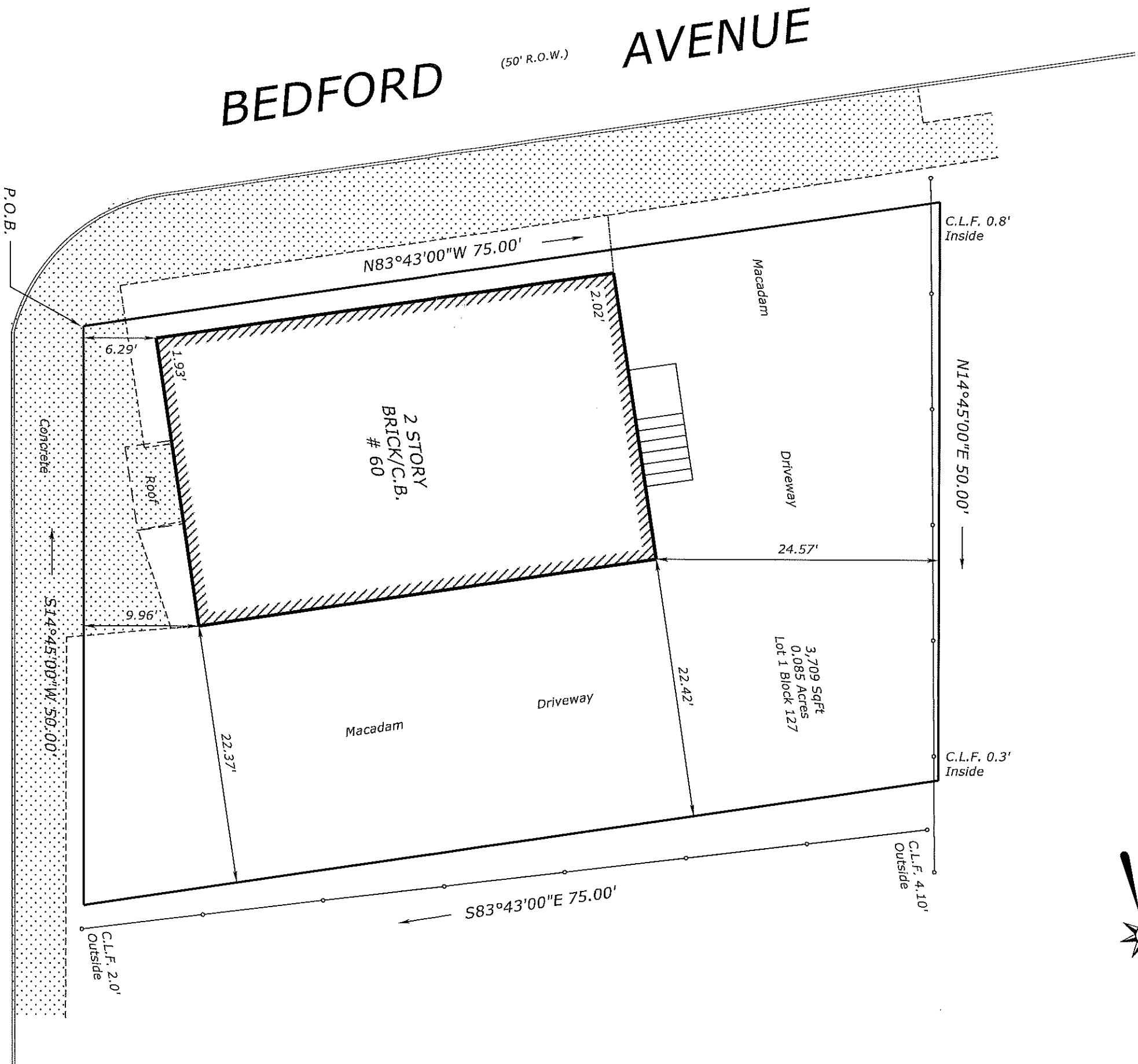
Tax Collector/Deputy Tax Collector Certification:

[Signature]
Certification Number T-8454 Date: 7-23-20

BLQ: 127. 1.		Tax Year: 2020 to 2020								
Owner Name: VARGHESE, JOY		Property Location: 60 PORTLAND AVENUE								
Tax Year: 2020		Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total				
Original Billed:		3,065.47	3,065.46	3,118.09	0.00	9,249.02				
Payments:		3,065.47	3,065.46	0.00	0.00	6,130.93				
Balance:		0.00	0.00	3,118.09	0.00	3,118.09				
Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2020 Prin Balance
		Description								
		Original Billed								
02/18/20	1	Payment	01	150	CK	17222	25 LG	3,065.47	18.98	6,183.55
		WINDOW								
06/01/20	2	Payment	01		CK	17579	23 E-CHECK	3,065.46	0.00	3,118.09
		ONLINE PAYMENTS								

Total Principal Balance for Tax Years in Range: 3,118.09

This certification is made only to the named parties for purchase and/or mortgage or herein delineated property by the named purchaser/owner. No responsibility is assumed by the Surveyor for use of survey for any other purpose including, but not limited to use of survey for survey affidavit, resale of property, or to any other person listed in certification, either directly or indirectly.



PORTLAND AVENUE

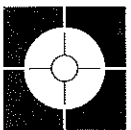
(50' R.O.W.)

(50' R.O.W.)

Property Corners Omitted By Contractual Agreement
Certified to: Joy Varghese

Lot 1 Block 127 on the Borough of Bergenfield Tax Map
Scale - 1" = 10'
Date - Location Survey - August 29, 2020
Drawn By - PC
Checked By - GJA

*Map Of Property Situated At:
90 Portland Avenue in the Borough of
Bergenfield, Bergen County, New Jersey*



BullsEye
SURVEYING, L.L.C.

P.O. Box 430 Saddle Brook, NJ 07663
O - 201.291.0950 F - 201.291.0953
bullseyesurveying@gmail.com

GEORGE J. ANDERSON
LIC. No. 36706
NJ COA 24GA28142500

NJ COA 24GA28142500

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 145 West Main Street LLC
ADDRESS 492 Cedar Lane, Ste 519, Teaneck, NJ 07666
OWNER'S NAME Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02 and 6.03)
OWNER'S ADDRESS _____ PHONE # _____
FED I.D.# or S S _____

Applicant will be represented at public hearing by Matthew G. Capizzi, Esq.

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the requirements of Section(s) See bulk table on site plan and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at
NUMBER: 145 West Main Street

DESIGNATED AS Block(s) 106 and Lot(s) 6.01-6.03
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____
LOT COVERAGE xxx FRONT YARD x REAR YARD xxx SIDE YARD _____
TOTAL SIDE YARD _____ OTHER (specify) _____
Max Impervious Lot Coverage, Min On Site Parking, Use, Max Building Height, and Min Front Yard Setback @ N Franklin Ave.

THE REASON FOR DESIRED VARIANCE/APPEAL
At the time of the public hearing, a professional planner will testify as to the variance criteria _____

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 150.41 x 96.20 2. SQUARE FEET IN LOT 15,215
3. SIZE OF PRESENT BUILDINGS x 4. STORIES 2
- x
5. TOTAL AREA 15,215 SQ. FT. 6. NUMBER OF ROOMS See Architectural Plan
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 7.54 %
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single family residence
-
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES xxx (Sanitary Easement)
 NO (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY
Residential, Commercial and Public School
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
 PREMISES? YES xxx NO IF SO, DATE FILED
- DISPOSITION Major Subdivision
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
 ORDINANCE? YES NO xxx (IF SO, EXPLAIN)
-
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
 YES NO x
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
 YES NO x
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
 MUNICIPALITY? YES NO x
-

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES xxx NO
17. SIZE OF NEW ADDITION x SQ. FT. See Site Plan
 AREA HEIGHT
18. SIZE OF NEW BUILDINGS 55 x 110 SQ. FT.
 AREA 32.99ft HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
43.38% %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Multi-Family Building

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

Menachem Stein, Owner of
Lot 6.01 LLC and Lots 6.02 & 6.03 LLC of full age, duly sworn
according to the law, deposes and says that he resides at
492 Cedar Lane, Suite 519 in the Borough of Teaneck
in the County of Bergen in the State
of New Jersey that he is the owner in fee of real
property lying in the Borough of Bergenfield, known and
designated as number 145 West Main Street and that he
heraby authorizes Matthew G. Capizzi, Esq. to make the
within application in his behalf and that the statements in
the said application are true.

SWORN TO BEFORE ME THIS

7th

DAY OF

May

19

2020

Owner

Notary Public

Matthew Capizzi, Esq. - Attorney At Law

Note: all partnership and corporations must supply a list of
stockholders with a 10% or greater share, that they must also
be represented by an Attorney at the hearing.

BOROUGH OF BERGENFIELD
APPLICATION FOR SITE PLAN APPROVAL

1. Applicant's name 145 West Main Street LLC Phone (H) _____
(B) _____
Applicant's address 492 Cedar Lane, Ste 519, Teaneck, NJ 07666
2. Name of present owner, if other than #1 _____
Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02 and 6.03)
3. Location of property 145 West Main Street
4. Block(s) 106 Lot(s) 6.01-6.03 Zoning district R-5
5. Structural plans Yes X No Front Elevation Yes X No
6. Name of development, if any _____
7. Are all lots to be approved owned by same person,
corporation, or partnership? Yes xxx No
8. If answer to #7 is no, give names of all owners. _____

9. Proposed uses of land and buildings
A. Multiple family dwelling structures Yes
Number of dwelling units 16
B. Commercial Use _____ C. Industrial Use _____
D. Other _____
10. If 1, 2 or 9 is in the name of a partnership or
corporation, list name and address of the attorney who
will represent the applicant. Matthew G. Capizzi, Esq.
11 Hillside Avenue, 2nd Fl., Tenafly, NJ 07670 Phone 201-266-8300
11. Name of architect/engineer/surveyor Michael Hubschman P.E., P.P.
Hubschman Engineering Address 263A S. Washington St., Bergenfield, NJ 07621
Phone 201-384-5666 Chris Blake Architect, 24 New Bridge Road, Bergenfield NJ, 07621
12. Name & Address of site planner if other than #11 _____ 201-816-9523
Phone _____
13. Land area sq. ft. 15,215 Landscape area sq. ft. _____
Impervious surface area sq. ft. 10,789
14. Building area sq. ft. 6,600 structure height 32.99ft
stories 3
15. Parking spaces required 30 parking spaces
provided 25

16. Parking space dimensions, Width 9 Length 18 Driveway
aisle width _____ Angle of parking: Parallel 45
60 90
17. Loading space(s) required NA Proposed loading
spaces _____
18. Loading space dimensions Width _____ Length _____
19. Are any new signs proposed Yes _____ No xxx
20. Existing signs, None xxx Will Remove _____ To Remain
Renovate _____
21. Are there any deed restrictions in force on this
property? Yes _____ No xxx If yes, include a copy
of the deed.
22. Is this or any part of this property in flood zone?
Yes _____ No xxx
23. Does this property border any county road? Yes _____ No xxx
24. Are there presently any utilities to this property?
Gas, xxx Electric, xxx Storm drains, _____
Telephone, _____ Cable TV, _____ Sanitary Sewers, xxx
25. Is this property within 200' of any other municipality?
Yes _____ No xxx
26. Are any variances required because of this application?
Yes xxx No _____
27. If answer to #26 was yes, state all variances required.
Use xxx Lot area _____ Lot frontage _____
Front yard xxx* Side yard _____ Rear Yard xxx
Total side yard _____ Parking xxx Buffer _____
Other Maximum Impervious Lot Coverage, Maximum Lot Coverage, Building Height, and
and Minimum Front Yard Setback @ N Franklin Ave.
28. Has a previous variance application been filed on this
property? Yes xxx No _____
29. Is this application filed because of existing zoning
violation? Yes _____ No xxx

All questions must be answered or this application may be
deemed to be incomplete.

I, certify the above information and documents accompanying
this application are true. (Willfully false statements are in
violation of the law).

X [Signature] / _____ / _____
Signature of Applicant Date Signature of Owner if Date
other than applicant



CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

May 28, 2020

145 W. Main Street, LLC
145 W. Main Street
Bergenfield, NJ 07621

RE: Multi-family Dwelling

Dear 145 W. Main Street, LLC

Your application for change of use to a multi-family dwelling R-5 Zone to RM Zone has been denied for the following reasons:

1. Change of use from R-5 to RM Zone.
2. Maximum density 12 units per acre 43,560 sq. feet. Proposed 16 units on 14,469 sq. feet.
3. Minimum front yard setback R-5 & R-6 25 sq. feet. Proposed front yard 22.9 sq. feet.
4. Minimum rear yard setback R-5 & R-6 25 sq. feet. Proposed rear yard 20 sq. feet.
5. Maximum lot coverage allowed R-6 over 6,000 sq. feet or 30%. Proposed lot coverage 43.38 %.
6. Maximum total improved lot coverage R-6 over 6,000 sq. feet or 35%. Proposed lot coverage 70.91%
7. Required multi-family dwelling units set back 35 sq. feet from front property line and a least 25 sq. feet from any other property line or from curb to street. (see 186-57 yards). Proposed 22.9 sq. feet front yard, 15 sq. feet from both side yards.
8. 186-55 design requirements, site plan for any multi-family development shall not be less than 20,000 sq. feet. Proposed 14,469.44 sq. feet.
9. Minimum required parking for occupants only 32 spaces not including visitor spaces. Proposed 25 parking spaces including two (2) handicap spaces.



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.

(201) 387-4055 EXT. 1-4092

FAX: (201) 385-7376

January 27, 2020

Matthew G. Capazzi, Esq
11 Hillside Avenue, second floor,
Tenafly, NJ 07670

RE: Multi-Family Residential Building, 145 W. Main St.

Dear Mr. Capazzi,

Your application to build a multi-family residential building has been denied for the following reasons:

1. A multi-family building is not permitted in the R-6 zone.
2. Front yard setback required is 25 sq. feet where 20.95 sq. feet is proposed (W. Main).
3. Rear yard setback required is 25 sq. feet where 18 sq. feet is proposed.
4. Maximum building coverage permitted is 30% where 41.24 % is proposed.
5. Maximum building height permitted is 30 feet where 36.4 feet is proposed.
6. Maximum number of stories permitted is 2 where 3 are proposed.
7. Maximum improved lot coverage permitted is 35% where 75.16% is proposed.
8. Number of parking spaces required is 29 where 15 are proposed.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Harry Hillenius
Zoning Officer

Borough of Bergenfield
Site Plan Committee Minutes
February 10, 2020

1. Call to Order

The meeting was called to order at 7:00 PM

2. Roll Call:

<u>Richard Morf</u>	<u>Robert Rivas</u>		
<u>Gerard Naylis</u>		<u>John Pampaloni</u>	<u>Michael Ravenda</u>
<u>Perry Sulich</u>	<u>Joseph Scalora</u>		
<u>Robert Giacomelli</u>	<u>R Mader</u>		

3. Item 1.

JAH Realty Association

Site Address: 205-207 North Washington Avenue

Seeks to convert first floor office space into 4 - 1 bedroom apartments.

Attorney: Matthew Capizzi
11 Hillside Avenue
Tenafly, NJ 07670
201-266-8300

Architect: Chris Blake Architect
24 New Bridge Road
Bergenfield, NJ 07621
201-816-9523

Engineer: Hubschman Engineering
263 A. South Washington Avenue
Bergenfield, NJ 07621
201-384-5666

Owner was represented by Mr. Capizzi and Mr. Hubschman

Mr. Capizzi introduced the project:

- * Convert existing first floor office space into 4 – 1 bedroom apartments,
The building currently has 4 – 1 bedroom apartments on the second floor and
Office space on the first floor.
- * The office space has been vacant for years
- * The new use will greatly reduce the existing parking non-conformity
 - existing use requires 25.8 spaces
 - proposed use will require 14.4 spaces
 - there are 12 spaces currently
- * The owner will continue to be responsible for garbage/recycling and snow removal

4. Item 2.

145 West Main Street LLC
Menachem Stein
492 Cedar Lane, Ste. 519
Teaneck, NJ 07666
Site Address 145 West Main Street
Seeks to build a 15 unit apartment building: 5 – 1 bedroom units 10- 2 bedroom units

Attorney: Matthew Capizzi
11 Hillside Avenue
Tenafly, NJ 07670
201-266-8300
Architect: Chris Blake Architect
24 New Bridge Road
Bergenfield, NJ 07621
201-816-9523
Engineer: Hubschman Engineering
263 A S. Washington Avenue
Bergenfield, NJ 07621
201-384-5666

Mr. Capizzi introduced the project:

- * His client purchased 3 lots on West Main Street
- * Seeking to build a 15 unit apartment building
- * Seeking use and several bulk variances

Mr. Hubschman went over site plan/architectuals:

- * 15 unit building - 3 floors- 10- 2 bedroom units, 5- 1 bedroom units
- * Entrance only from west Main
- * Entrance/exit from N. Franklin
- * Drive under rear of building to parking at back of property
- * Existing 12' sewer easement will remain
- * Stormwater retention system is under rear parking lot

Board Comments:

Mr. Scalora:

- Concerned about the 81 trees being planted around perimeter.
- Questioned the size of the rooms and the ceiling height in relation to the height of building

Mr. Hubschman:

- Landscaping can be adjusted
- Height variance is only needed because of slope of property in the rear

Mr. Naylis:

- Project exceeds density, from 3 – 1 family homes to 15 units

Mr. Morf:

- Entire proposal is too much, parking, height, set backs, lot coverage all problems
- Too big for lot size

- Traffic problems with the school across the street
- Not permissible in R-5 zone
- Worried about setting a precedent

Mr. Naylis:

- Planning board changed the height requirements for B1 & B2 trying to push this type of development into those zones
- That is where this building belongs

Mr. Ravenda:

- Try and buy 2 rear lots to make the project at least somewhat compliable.
- Concerned about the traffic and the school

Mr. Capizzi:

- The school traffic and street closing will have to be resolved because the 2 rear lots have been approved

Mr. Morf:

- Single family homes should be built

Mr. Capizzi:

- The area is currently mixed use

Mr. Morf:

- As existing businesses leave, the property can only be developed as residential

Mr. Naylis:

- The project is too big and will be knocked down as it is.

Mr. Capizzi:

- Can we downsize it
- What about affordable housing units

Mr. Morf:

- Cut the top floor off
- Or remove 1 quadrant completely
- Eliminating 4 2 bedrooms and 2 1 bedroom units

Mr. Rivas:

- Removing quadrant will allow entrance and exit on West Main
- No access from N Franklin

Mr. Perry:

- Question impact on school by adding 15 units
- Is there an elevator or walk up

Mr. Capizzi:

- No elevator

Mr. Ravenda:

- The parking is a major issue, the project needs to be reduced in size
- Concerned about school crossing, is there a patrolman at the corner?

Mr. Mader:

- There is only a crossing guard at that corner

Mr. Giacomelli:

- How are you going to handle garbage
- Where are you going to put the bins
- Snow will have to be trucked off of site

Mr. Naylis:

- The fire trucks will operate from N. Franklin and West Main St. no need to fit on property
- Questioned attic construction and space

- Suggested installing a dry sprinkler system for the attic space piped to a FDC at edge of property. The owner can still use a 13r system but the attic would be covered by the dry system.

Mr. Pampaloni:

- The plan called for the sewer to be tied into the 24" line in the existing easement.
- This line carries 40% of Bergenfield's sewage and ties directly into a line that carries 90% of the sewage.
- This line during storms becomes full and it takes days for it drain.
- The building will not drain into it during those times
- Tie in building sewer into 8" line on West Main which is higher than the 24" line

Mr. Capizzi:

- For the project to work, even if they scale it back, they will still need relief for:
 - o Height
 - o Parking
 - o Setbacks
 - o Lot coverage

Board Recommendations:

- Project needs to be reduced dramatically:
 - o Density
 - o Height
 - o Lot coverage
- Reduce overall building by 30%
- Relocate sewer to West Main Street
- Ingress/egress only from West Main Street
- Eliminate any access to N Franklin

Meeting Adjourned at 8:11PM

GENERAL NOTES

- 1) TOTAL LOT AREA = 15,215 S.F. (0.349 Ac.)
- 2) ELEVATIONS BASED ON NGVD 1929.
- 3) LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- 4) CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 5) ALL DAMAGED CURB AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- 6) STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- 7) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- 8) EXISTING IMPERVIOUS AREA = 2,976 S.F.
PROPOSED IMPERVIOUS AREA = 10,789 S.F.
TOTAL INCREASE = 7,813 S.F.
- 9) CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
- 10) APPLICANT AND/OR CONTRACTOR SHALL CONTACT MR. ED RAYTINE, DEPARTMENT OF PUBLIC WORKS INSPECTOR, AT (201) 336-6815 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- 11) ANY PROPOSED PLANTINGS ALONG THE PROPERTY FRONTAGE WITHIN THE SIGHT TRIANGLE AREA SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG KIRKENDRICK ROAD.
- 12) ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING SERIES 4,000 TYPE X DESIGNATION PER ASTM.
- 13) ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- 14) ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEWER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND AMENDMENTS BY THE NJDOT AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT, IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUIDE RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & CULVERTS AND ROADWAY CONSTRUCTION. OMISSION AND/OR CORRECTIONS DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- 15) COUNTY SIGHT DISTANCE CRITERIA - THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHOULD BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCES REFLECT MAXIMUM CLEAR SIGHT DISTANCE.
- 16) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- 17) ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- 18) RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- 19) THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-43.) A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- 20) ALL EXISTING OR PROPOSED SIDEWALKS, CURBING AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA.) THE DESIGN/CONSTRUCTION OF THE HANDICAPPED RAMP AND THE TYPE OF TRUNCATED DOME SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE. PURSUANT TO TITLE 27:16-8, THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURB LINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- 21) ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPEDE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- 22) CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S DESIGN AND CONSTRUCTION PLAN STANDARDS.
- 23) ALL PAVEMENT MARKINGS/STRIPING WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- 24) ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMPBELL FOUNDRY PATTERN #2617), AND "N-ECO" CURB PIECES (CAMPBELL FOUNDRY PATTERN #2618.) ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUTE 40A:11-18.
- 25) ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- 26) APPLICANT SHALL PROVIDE THE COUNTY WITH REVISED DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.

I CONSENT TO THE FILING OF THIS SITE PLAN.

OWNER	DATE	BOROUGH ENGINEER	DATE
APPLICANT	DATE	CONSTRUCTION OFFICIAL	DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING
LOT 6.01, 6.02 & 6.03 BLOCK 106 ZONE R-5
DATE: SCALE: 1"=20'

APPLICANT: 145 WEST MAIN STREET, LLC
ADDRESS: C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

MICHAEL J. HUBSCHMAN, P.E.
N.J.P.E. No. 29497
TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

By:	CHAIRMAN	DATE
	SECRETARY	DATE

APPROVED BY THE COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

BOROUGH ENGINEER

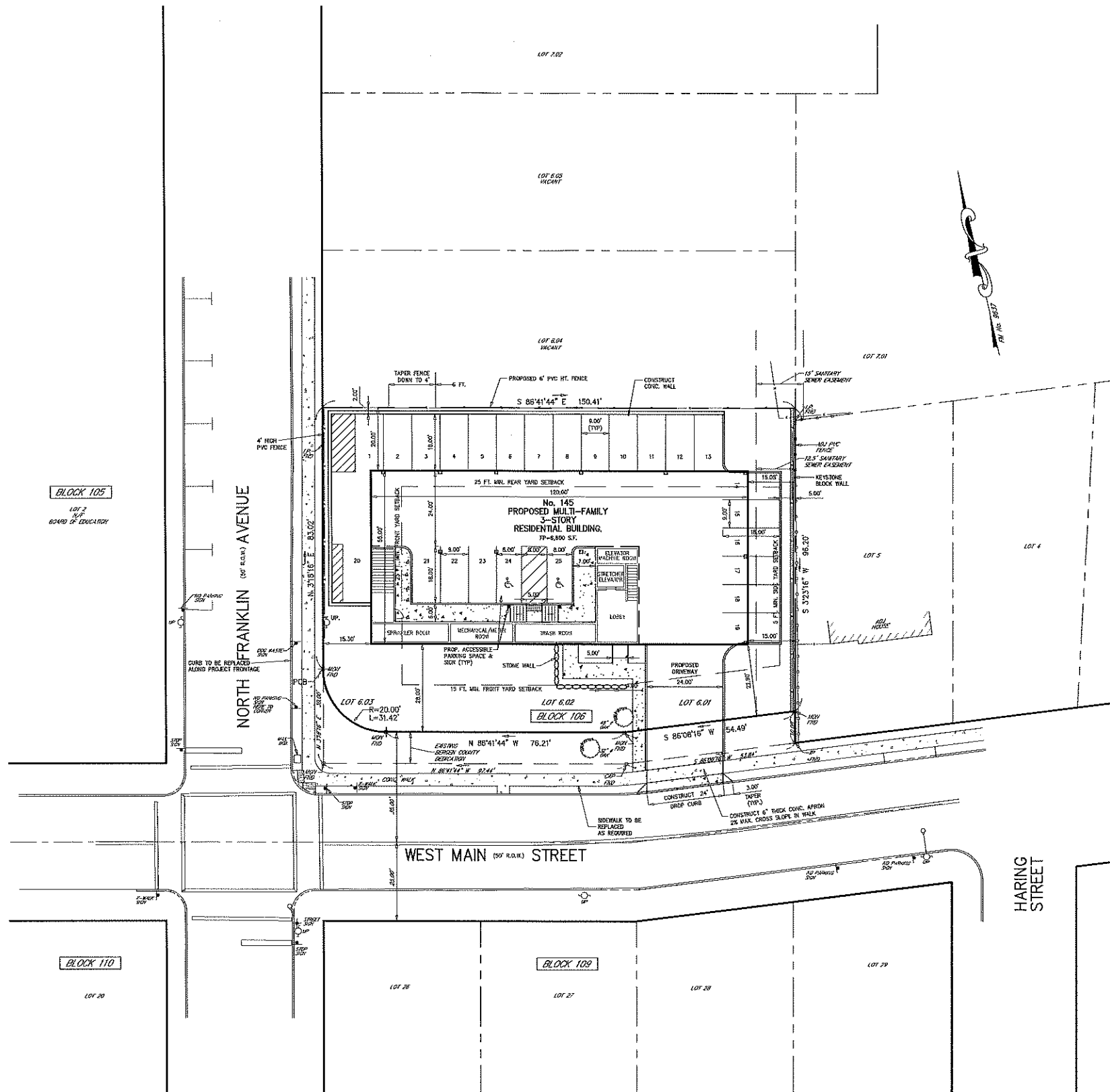
CONSTRUCTION OFFICIAL

OCCUPANCY PERMIT ISSUED

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

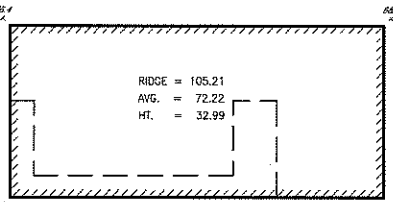
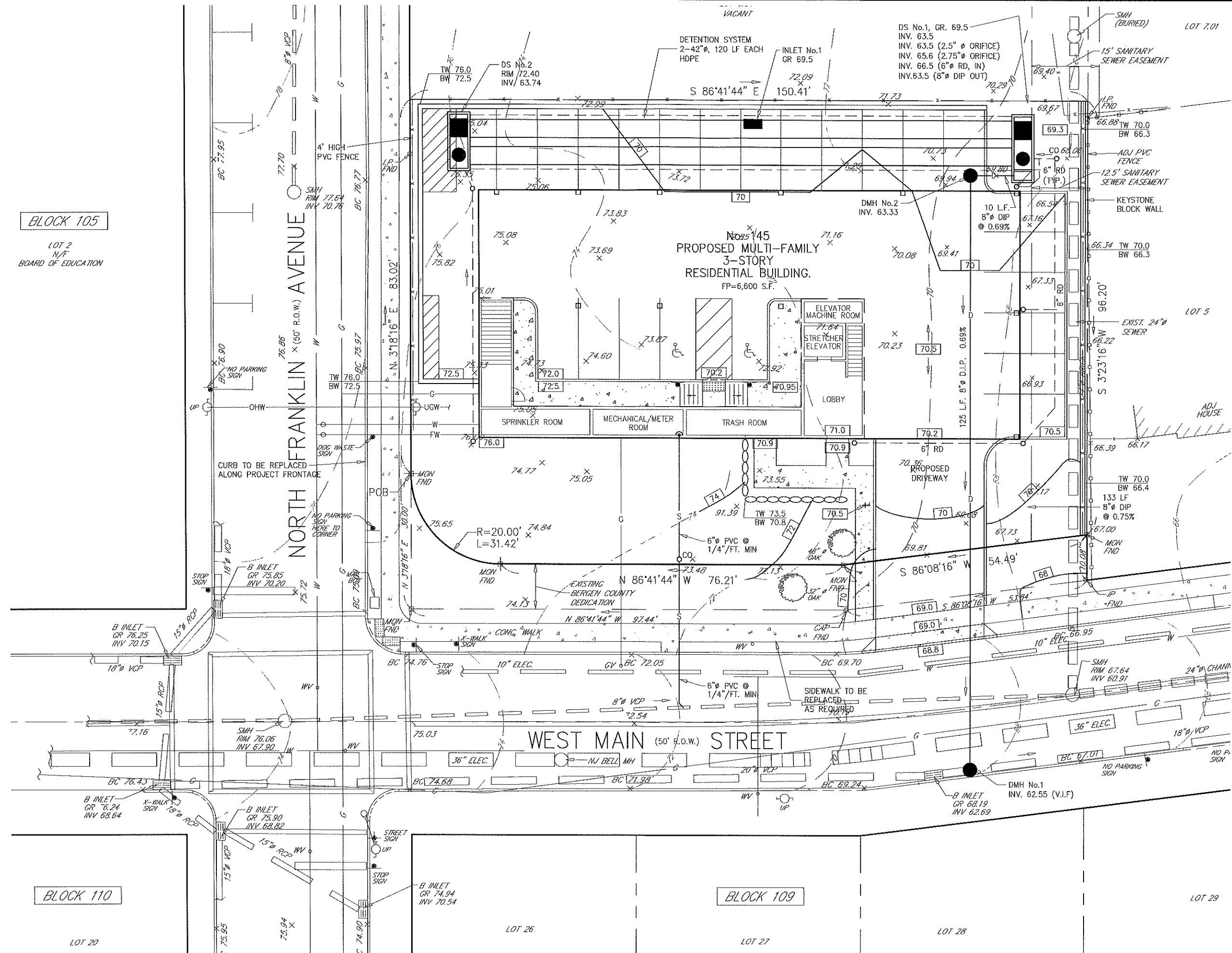
TAX COLLECTOR

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.



BLOCK 105

LOT 2
N/F
BOARD OF EDUCATION



BUILDING HEIGHT
(EX. GR. @ 4' OFF CORNER)

1		MODIFIED BUILDING & SITE LAYOUT	5-1-20	N.M.
NO.		REVISIONS	DATE	BY
GRADING, DRAINAGE & UTILITY PLAN				
LOTS 5.01, 5.02 & 5.03				
PROPOSED RESIDENTIAL BUILDING				
No. 145 WEST MAIN STREET				
BOROUGH OF BERGENFIELD BERGEN COUNTY				
APPLICANT: 145 WEST MAIN STREET, LLC				
C/O MATTHEW CAPIZZI, ESQ.				
11 HILLSIDE AVENUE, 2ND FL.				
TEANECK, NJ 07670				

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

DRAWN BY: B.W.
CHKD BY: MJH
SCALE: 1"=10'
DRAWING NO. 3821-2

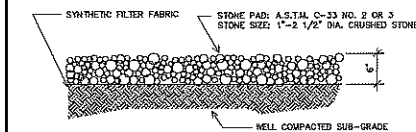
HUBSCHMAN
ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS

BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

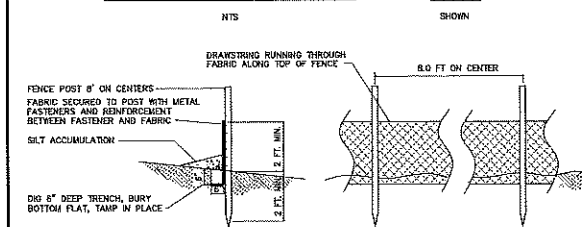
1. All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
2. Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with erodible straw at a rate of 2 tons per acre anchored by approved methods (i.e. peg and twine, mulch netting, or rigid mesh binder).
3. Immediately following initial disturbance or rough grading, all eroded areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
4. Stabilization Specifications:
 - a. Temporary Seeding and Mulching:
 - Grass Seedlings - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 100 lbs./1,000 sq ft of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
 - Soil - potential nitrogen 100 lbs./acre (2.5 lbs./1,000 sq ft) or other approved source, applied between March 1 and May 31 or between August 15 and October 1.
 - Mulch - Unstirred straw or hay at a rate of 70 to 95 lbs./1,000 sq ft applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mulch netting, or rigid mesh binder).
 - b. Permanent Seeding and Mulching:
 - Topsoil - A uniform application to an average depth of 5", minimum of 4" firm in place is required.
 - Grass Seedlings - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 10 lbs./1,000 sq ft of 10-10-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
 - Soil - Total type soil (based on 3 cuttings) 350 lbs./acre (8 lbs./1,000 sq ft) or other approved source, applied between March 1 and October 1 (in winter seeding regime required).
 - Mulch - Unstirred straw or hay at a rate of 70 to 95 lbs./1,000 sq ft applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and twine, mulch netting, or rigid mesh binder).
5. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
6. Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
7. Slopefaces are not to be treated with 50' of a rockpile, slope, roadway or drainage facility. The base of all slopefaces shall be contained by a heaped rockpile, batter or 30' face.
8. A crushed stone, vehicle wheel-shedding blanket will be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2" crushed stone, 6" thick, and be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and maintained.
9. Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
10. Driveways must be stabilized with 1" - 2" crushed stone or subbase prior to finished lot construction.
11. All soil washed, dropped, spilled or tracked outside the limit of disturbance or onto public right-of-way, will be removed immediately. Paved roadways must be kept clean at all times.
12. Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
13. Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
14. Dewatering operations must discharge directly into a sediment control bay or other approved filter in accordance with Section 14-1 of the NJ Standards.
15. Dred shall be controlled via the application of water, sodium chloride or other approved method in accordance with Section 18-1 of the NJ Standards.
16. Dred to remain after construction use to be protected with a suitable fence installed at the site line or beyond in accordance with Section 9-1 of the NJ Standards.
17. The project owner shall be responsible for any erosion or sedimentation that may occur before stormwater outlets or off-site as a result of construction of the project.
18. Any relation to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
19. A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
20. The Bergen County Soil Conservation District must be notified, in writing, of least 48 hours prior to any land disturbance. Bergen County SD, 700 Rockland Road, Suite 100, Clifton, NJ 07011, Tel: 201-261-1513.
21. The Bergen County Soil Conservation District may request additional measures to minimize on- or off-site erosion problems during construction.
22. The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to facilitate the scheduling of all reports of compliance. At site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

1. INSTALL 24" x 24" TRENCH BED AT CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION
3. DEMOLISH EXISTING BUILDING
4. REMOVE EXISTING AND STOCKPILE
5. PROVIDE ROUGH GRADING FOR SITE
6. GRADIENT FOR NEW BUILDING, DRIVEWAY, AND UTILITIES
7. CONSTRUCT NEW BUILDING, PROVIDE PAVEMENT BASE
8. COURSE ON DRIVEWAY
9. PROVIDE FINAL GRADING, TOPSOIL, REPLACEMENT, AND LANDSCAPING, (UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE)
10. PROVIDE FINAL PAVING
11. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL SERVICE.



STABILIZED CONSTRUCTION ACCESS



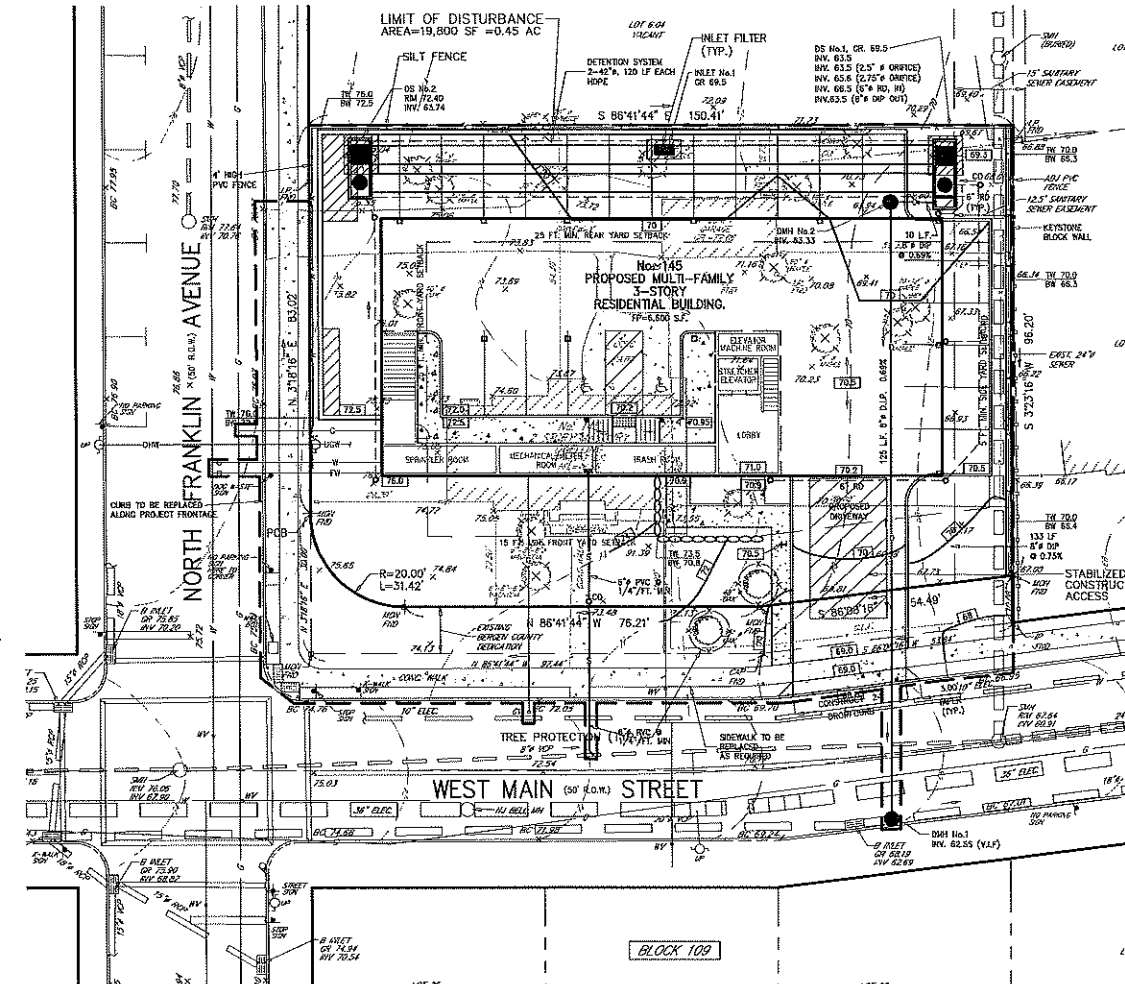
SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL



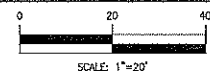
BREAKAWAY SIGN POST DETAIL



DETAIL OF DROP CURB

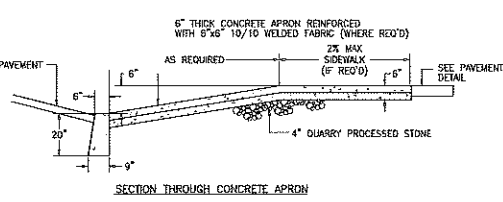


SOIL EROSION & SEDIMENT CONTROL PLAN

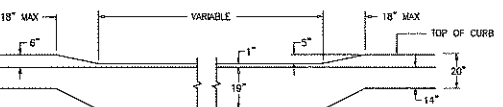


SIGN NOTES:

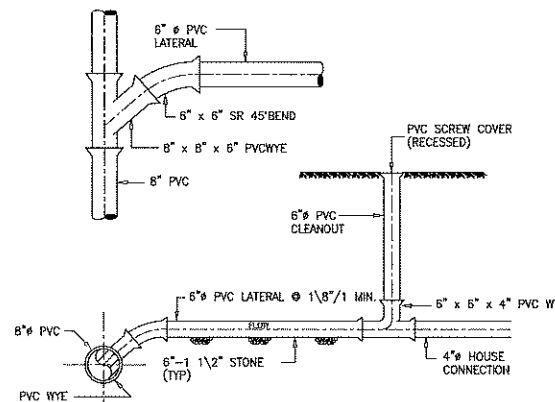
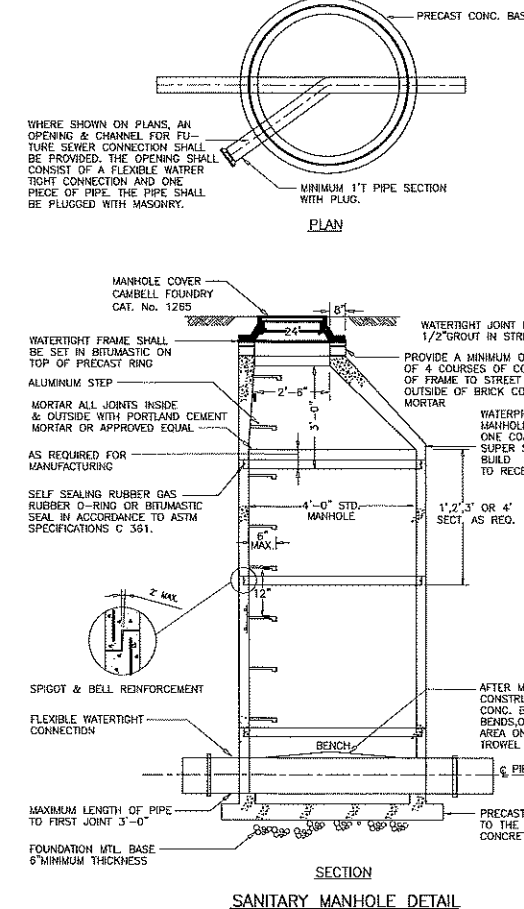
1. HANDICAP SIGN TO BE MOUNTED 5' HIGH FROM THE GROUND TO THE BOTTOM OF THE SIGN.
2. ALL TRAFFIC CONTROL SIGNS MUST CONFORM IN FACE DESIGN (TYPE VI) REFLECTIVE SHEETING AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMIN., 2000, AS REVISED, SPECIFICALLY REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH TYPE X (DIAMOND GRADE CUBED) WIDE-ANGLE HIGH PERFORMANCE PRISMATIC RETRO-REFLECTIVE SHEETING SERIES 4090 PER 3M OR EQUIVALENT VISUAL PERFORMANCE.



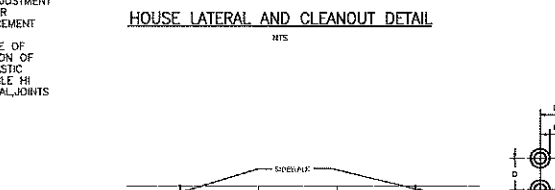
SECTION THROUGH CONCRETE APRON



SANITARY MANHOLE DETAIL

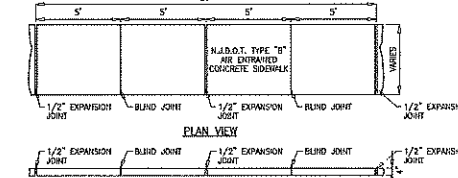


HOUSE LATERAL AND CLEANOUT DETAIL

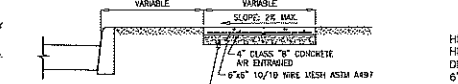


SOIL EROSION EXEMPTION NOTE:

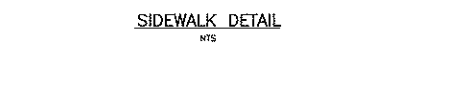
THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN REDEVELOPMENT AREA.



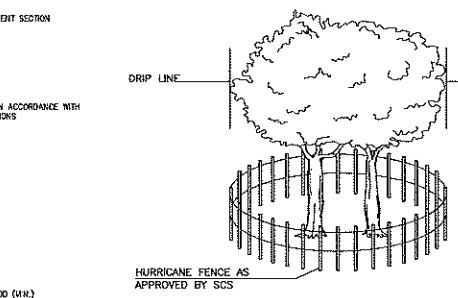
PAVING DETAIL (FOR DRIVEWAY)



STREET CURB DETAIL



TREE PROTECTION DETAIL



COUNTY CURB & PAVEMENT DETAIL



SECTION THROUGH "BOGHOUSE" MANHOLE



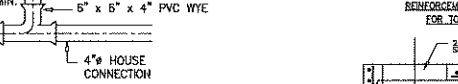
REINFORCEMENT LAYOUT FOR TOP SLAB



DOGHOUSE MANHOLE



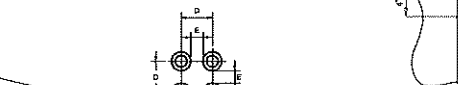
JOINT DETAIL



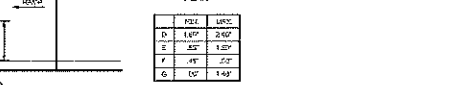
PLAN



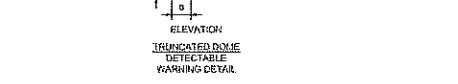
ELEVATION



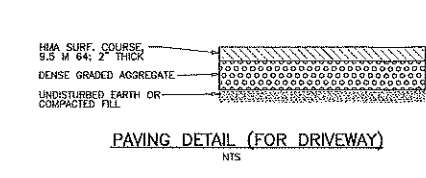
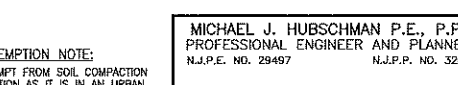
TRUNCATED CONE DETECTABLE WARNING DETAIL



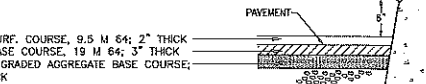
TRUNCATED CONE DETECTABLE WARNING DETAIL



TRUNCATED CONE DETECTABLE WARNING DETAIL



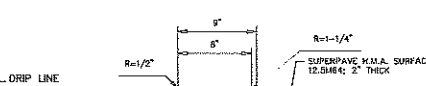
PAVING DETAIL (FOR DRIVEWAY)



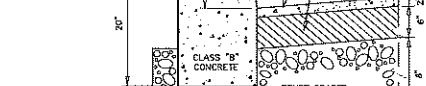
STREET CURB DETAIL



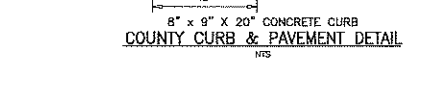
TREE PROTECTION DETAIL



COUNTY CURB & PAVEMENT DETAIL



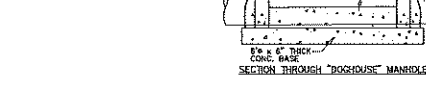
SECTION THROUGH "BOGHOUSE" MANHOLE



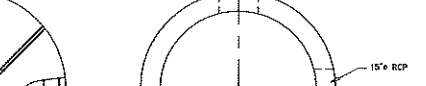
REINFORCEMENT LAYOUT FOR TOP SLAB



DOGHOUSE MANHOLE



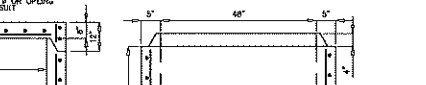
JOINT DETAIL



PLAN



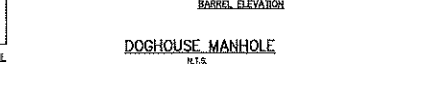
ELEVATION



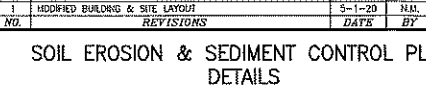
TRUNCATED CONE DETECTABLE WARNING DETAIL



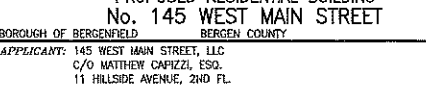
TRUNCATED CONE DETECTABLE WARNING DETAIL



TRUNCATED CONE DETECTABLE WARNING DETAIL

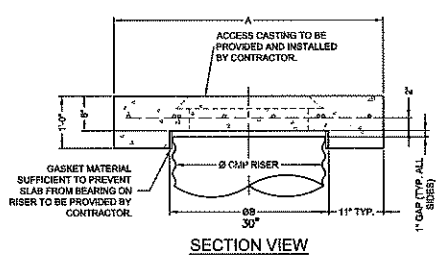
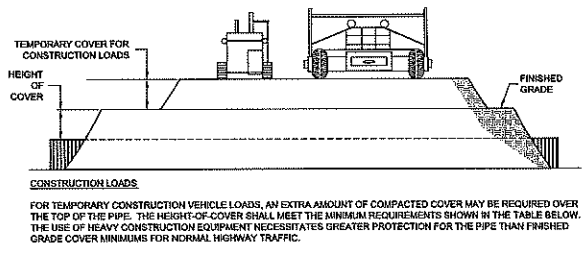
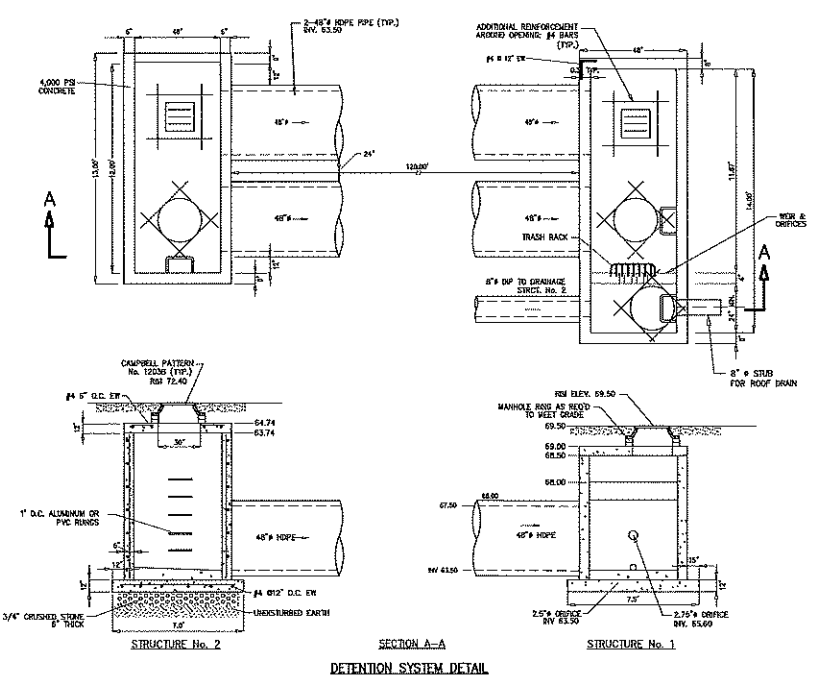
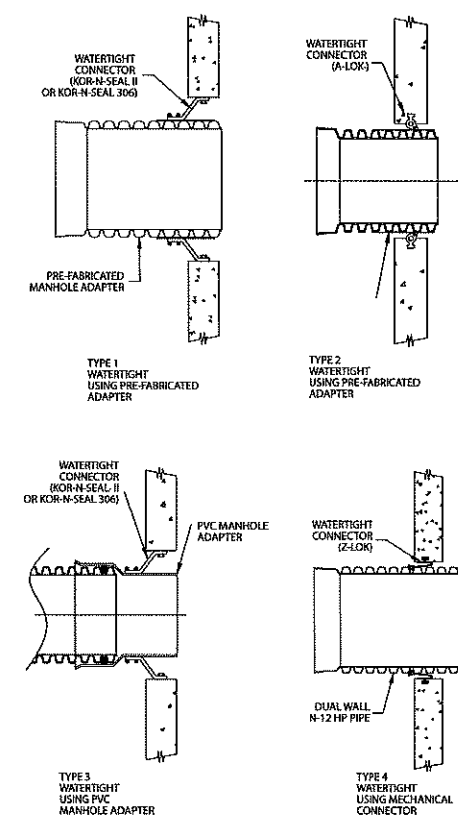
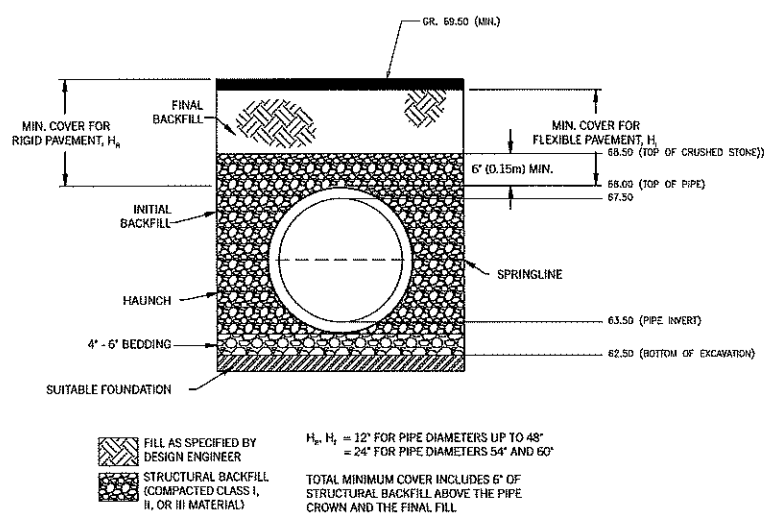
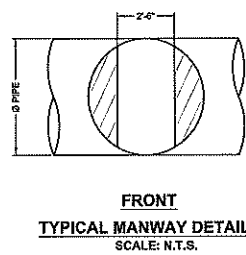
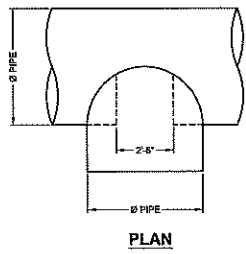
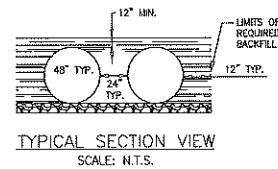
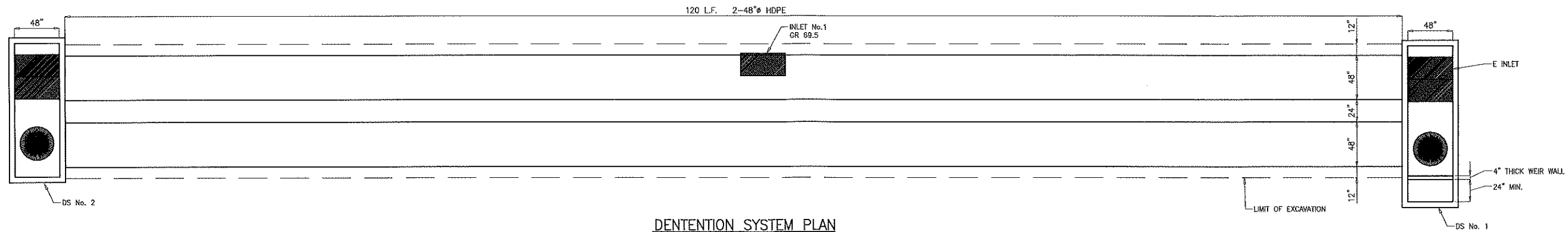


TRUNCATED CONE DETECTABLE WARNING DETAIL



TRUNCATED CONE DETECTABLE WARNING DETAIL

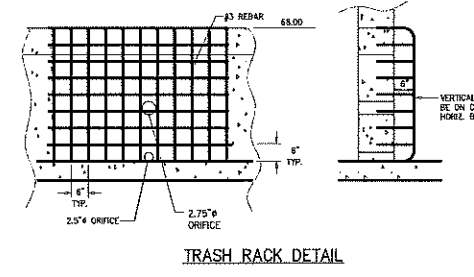
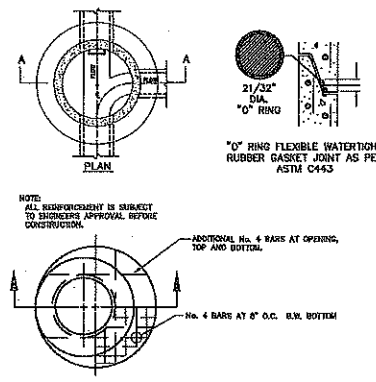




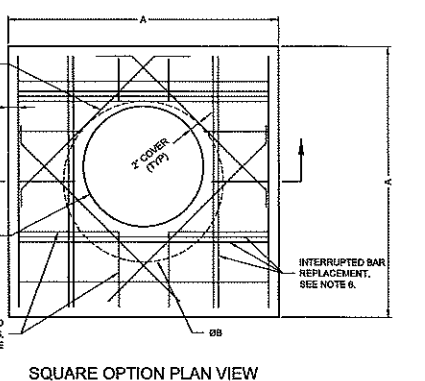
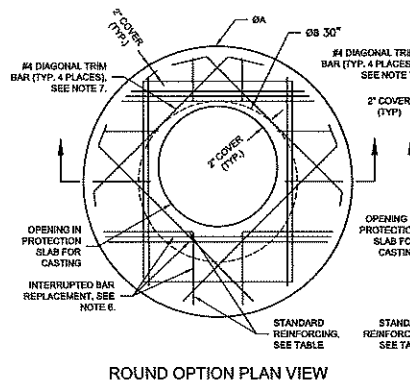
REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
30"	4'-0"	32"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
48"	6'-0"	48"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
60"	8'-0"	60"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
72"	10'-0"	72"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530
84"	12'-0"	84"	#5 @ 12" O.C.W. #5 @ 12" O.C.W.	2,120 1,530

HDPE PIPE CONNECTION TO MANHOLE DETAIL
NOT TO SCALE

- NOTES:
- THIS MANHOLE MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK & POINTED.
 - PROVIDE 7/8" DIA. X 7" X 12" ALUMINUM LADDER RUNGS, 12" O.C.
 - WHEN DEPTH IS GREATER THEN 12' THE WALLS SHOULD BE EITHER 8" CONCRETE OR 8" CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
 - WHEN PRECAST STRUCTURES ARE USED, CLEAN STONE SHALL BE PLACED BENEATH STRUCTURE TO A DEPTH OF 8".



Temporary Cover Requirements for Light Construction Traffic			
Type of Vehicle	Vehicular Load at Surface psi (kPa)	Temporary Minimum Cover, in. (mm) for:	
		4" - 48" (100-1200mm) diameters	54" - 60" (1350 and 1500mm) diameters
Semi-tractor ¹	75 (517)	9 (230)	12 (300)
Loaded pick-up truck ²	50 (345)	6 (150)	9 (230)
Skid steer loader ³	25 (172)	3 (80)	6 (150)



- NOTES:
- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
 - DESIGN LOAD HS20.
 - EARTH COVER = 1' MAX.
 - CONCRETE STRENGTH = 3,500 psi
 - REINFORCING STEEL = ASTM A615, GRADE 60.
 - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN 1' DIA. (TYP.)
 - TRM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
 - PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

MANHOLE CAP DETAIL
NOT TO SCALE

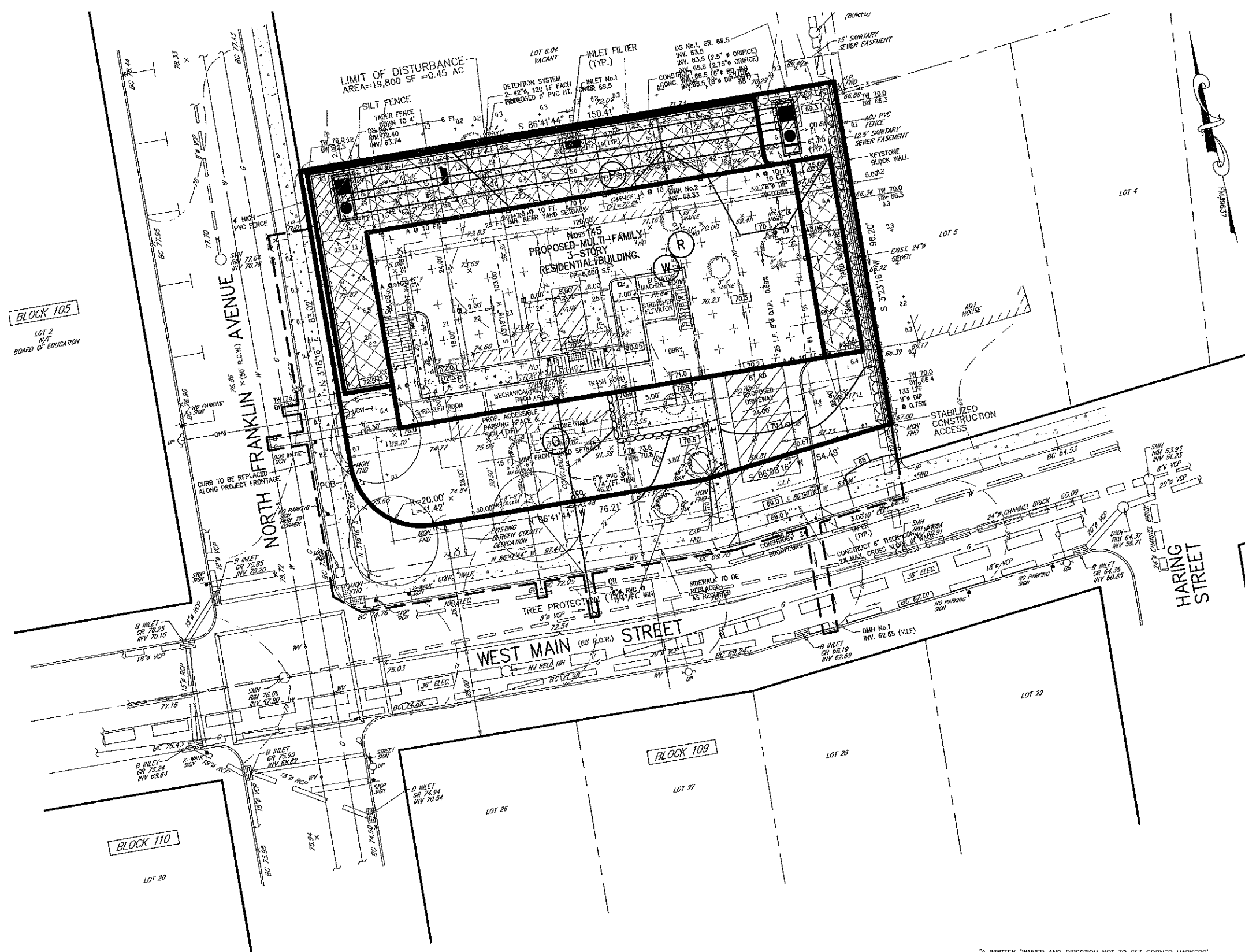
SHALLOW DRAINAGE MANHOLE DETAIL

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1 MODIFIED BUILDING & SITE LAYOUT		5-1-20	NLM
NO.	REVISIONS	DATE	BY
STORMWATER MANAGEMENT DETAIL			
LOTS 6.01, 6.02 & 6.03			
PROPOSED RESIDENTIAL BUILDING			
No. 145 WEST MAIN STREET			
BOROUGH OF BERGENFIELD BERGEN COUNTY			
APPLICANT: 145 WEST MAIN STREET, LLC			
C/O MATTHEW CAPIZZI, ESQ.			
11 HILLSIDE AVENUE, 2ND FL.			
TENNY, NJ 07670			

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS, PLANNERS, SURVEYORS

DRAWN BY: B.H.
CHKD BY: M.H.
SCALE: AS
DRAWING NO.: 3821-0



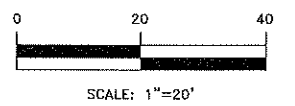
ZONING NOTES

	REQUIRED
MIN. LOT AREA	5,000 S.F.
MIN. LOT WIDTH	50.00 FT.
MAX. IMPROVED LOT COVERAGE	40%
MAX. LOT COVERAGE	40%
MAX. BUILDING HEIGHT	2 STY / 28FT
MIN. FRONT YARD	15/25 FT.
MIN. SIDE YARD	ONE 5.00 FT.
	BOTH 10.00 FT.
MIN. REAR YARD	25.00 FT.

NOTE: ELEVATIONS BASED ON NGVD 1929

REFERENCES


- 1) A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 9637
- 2) BOROUGH OF BERGENFIELD TAX MAP



TAX LOT 6 IN BLOCK 106

TOPOGRAPHIC SURVEY

BOROUGH OF BERGENFIELD
BERGEN COUNTY, NEW JERSEY

HUBSCHMAN ENGINEERING
ENGINEERS LAND SURVEYORS PLANNERS
263A S. WASHINGTON AVE., BERGENFIELD
NEW JERSEY 07621 (201) 384-5666

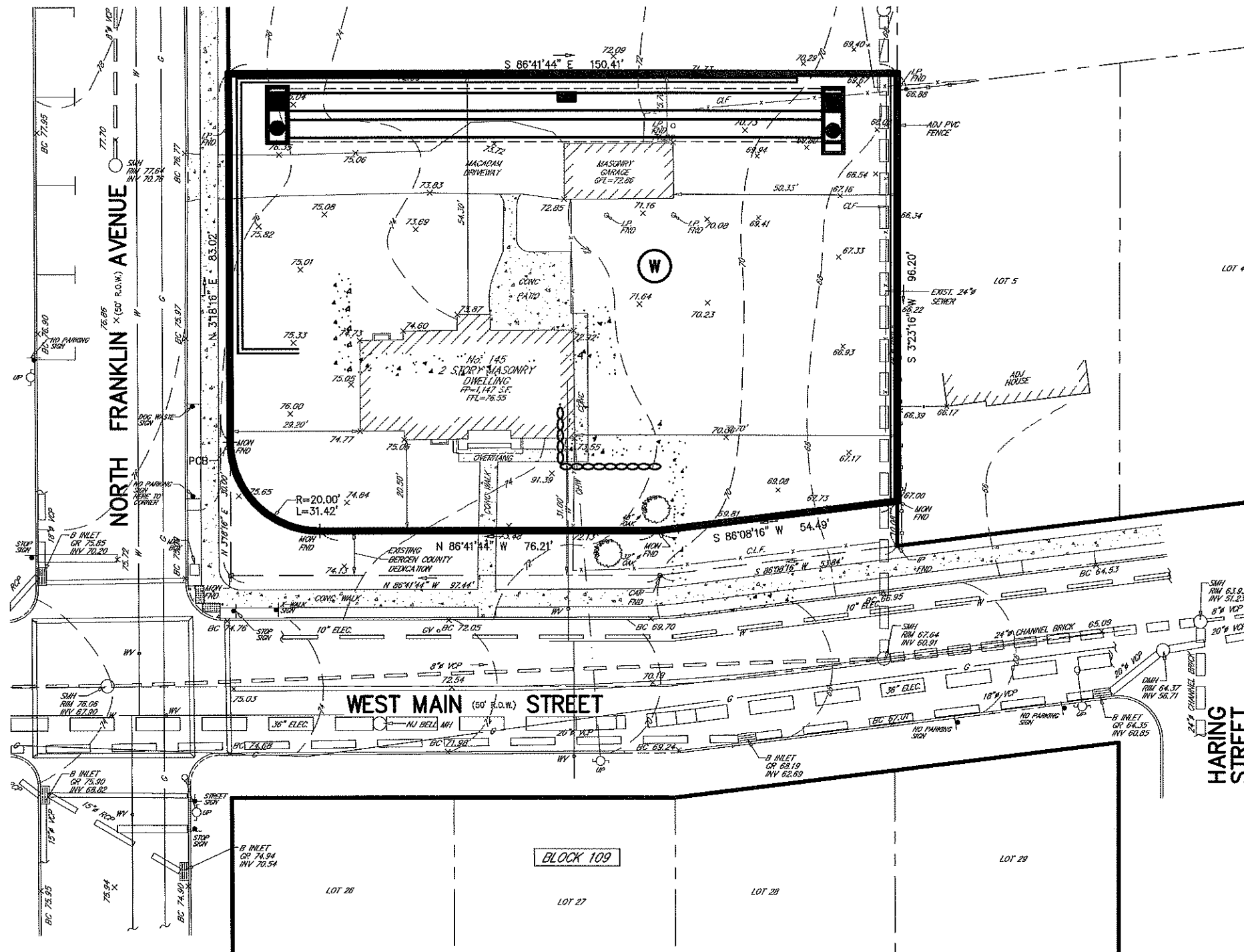
ROBERT J. MUELLER, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LIC. 37206

"A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS" HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14(C45:8-38.3) AND N.J.A.C. 13:40-5.1(d).
THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITION FOUND AT, AND AS OF DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE

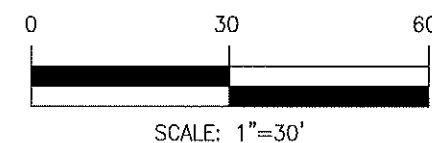
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD FACILITIES, WETLANDS OR ENVIRONMENTAL RESTRICTIONS OTHER THAN

"SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP WAS PREPARED FOR A SPECIFIC TRANSACTION INVOLVING ONLY THE PARTIES "CERTIFIED TO" ON THIS MAP.
ONLY COPIES OF THIS MAP BEARING THE EMBOSSED SEAL OF ROBERT J. MUELLER ARE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

REV.	DWN. MZ.	9-19-19	JOB No.
	CHK'D. RJM	SCALE: 1"=20'	3821



EXISTING DRAINAGE AREAS			
Drainage Area	Impervious Area (sf)	Pervious Area (sf)	Total Area (sf)
W	2,976	12,239	15,215
Total	2,976	12,239	15,215

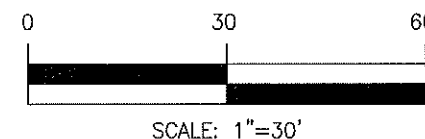
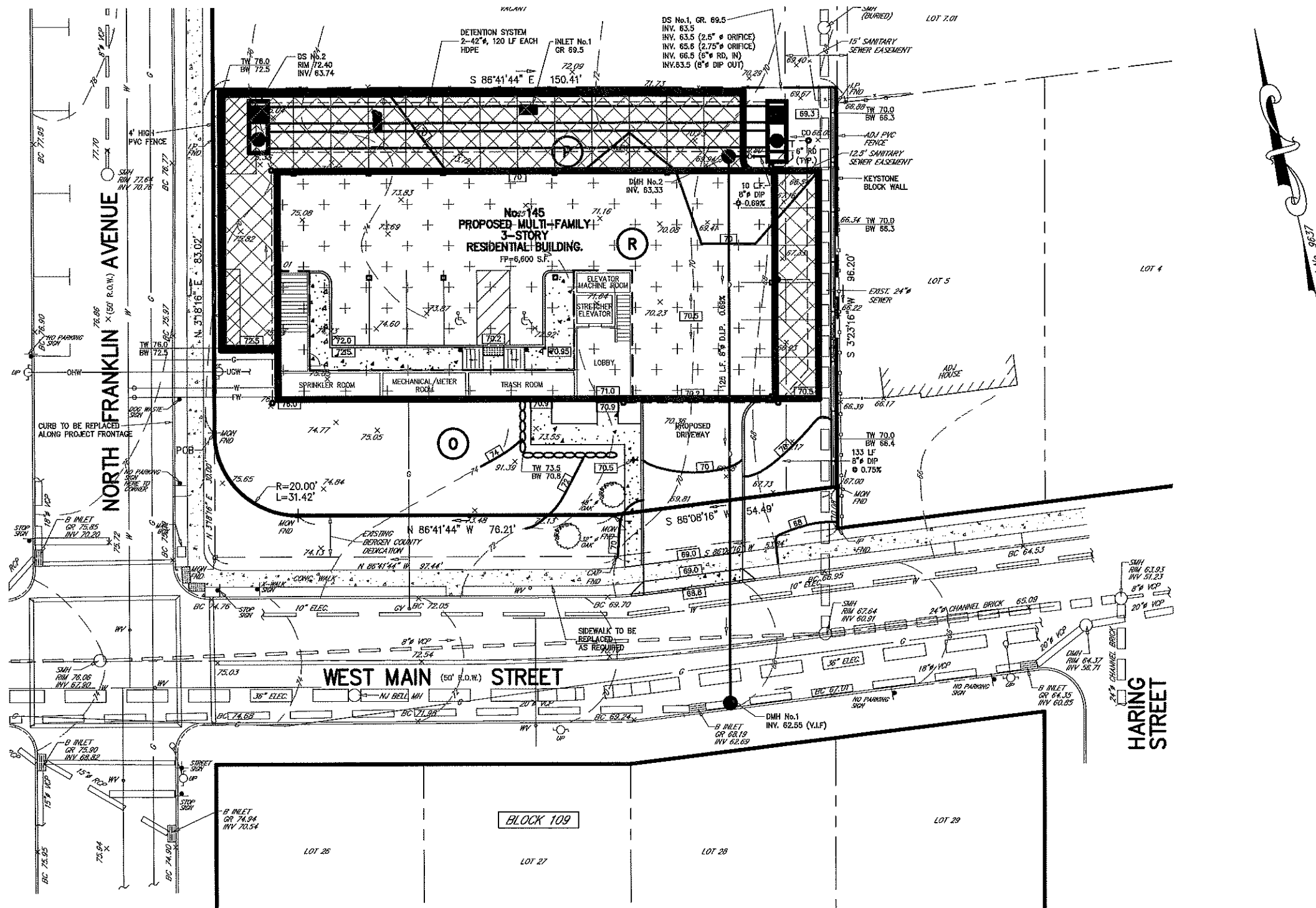


MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1-8-20
DATE

NO.	REVISIONS	DATE	BY
DRAINAGE AREA MAP - EXISTING			
LOTS 6.01, 6.02 & 6.03			
PROPOSED RESIDENTIAL BUILDING			
No. 145 WEST MAIN STREET			
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW			
APPLICANT: 145 WEST MAIN STREET, LLC			
C/O MATTHEW CAPIZZI, ESQ.			
11 HILLSIDE AVENUE, 2ND FL.			
TENAFLY, NJ 07670			
DRAWN BY: N.M.		CHKD BY: MJH	
SCALE: AS SHOWN		DRAWING NO.	
3821-6		1 OF 2	

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-384-5666



MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1-8-20
DATE

NO.	REVISIONS	DATE	BY
1	MODIFIED BUILDING & SITE LAYOUT	4-16-20	N.M.

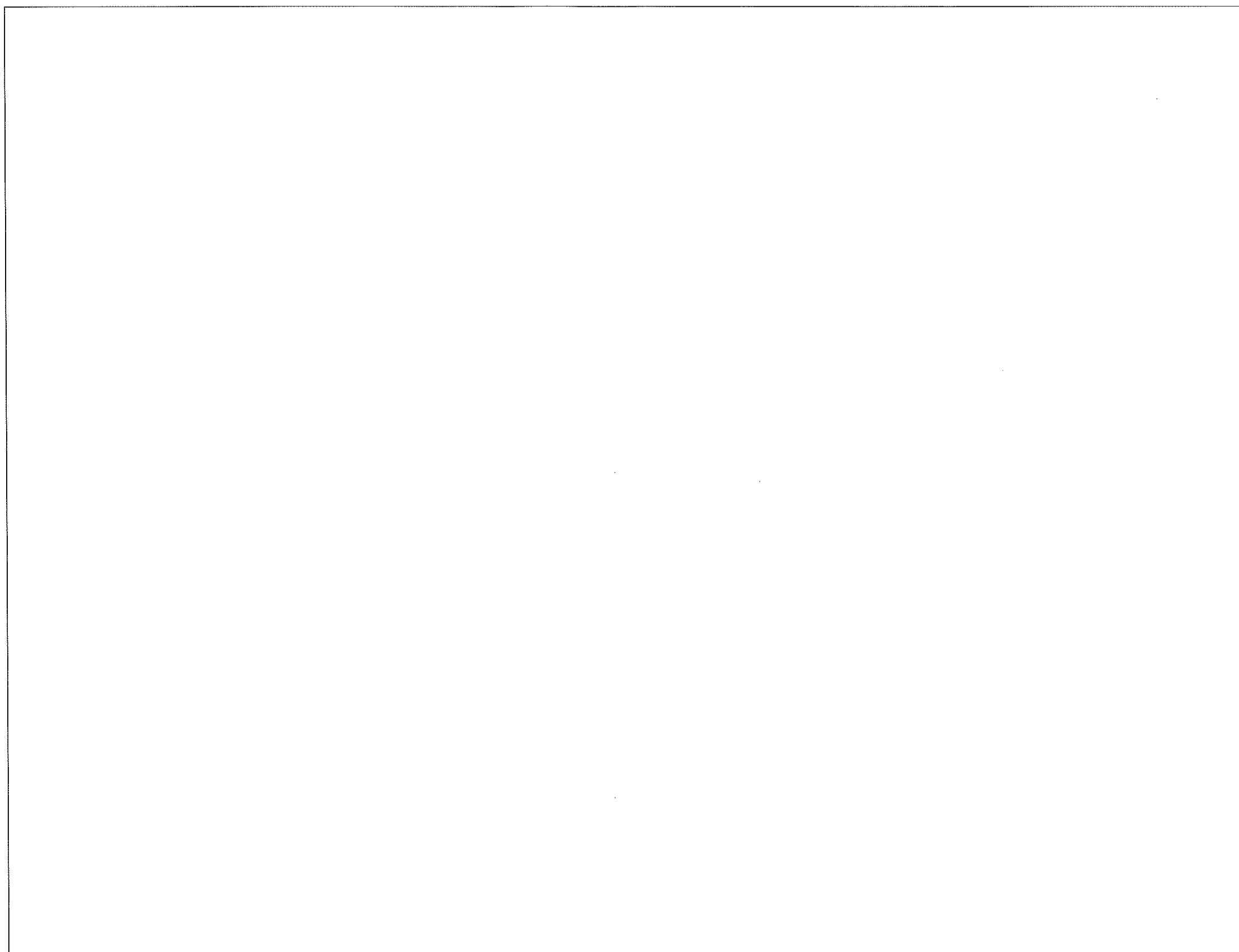
DRAINAGE AREA MAP – PROPOSED

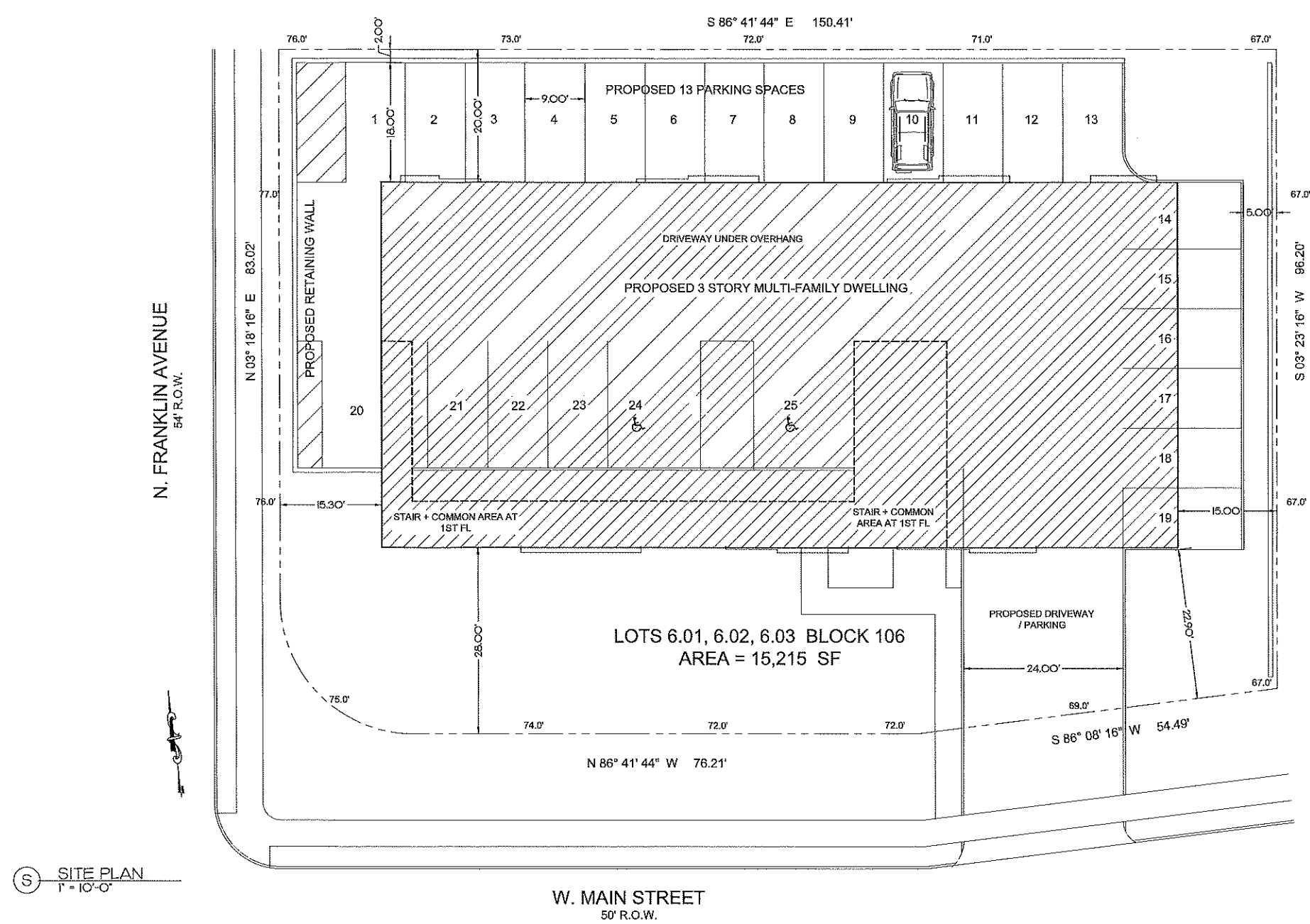
LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW
APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPIZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

HUBSCHMAN
ENGINEERING, P.A.
ENGINEERS – PLANNERS – SURVEYORS
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-384-5686

DRAWN BY: N.M.
CHKD BY: MJH
SCALE: AS SHOWN
DRAWING NO.

3821-7
2 OF 2





Ⓢ SITE PLAN
1" = 10'-0"

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE PROPERTY OWNER:
HUBSCHMAN ENGINEERING, ENGINEERS, LAND SURVEYORS, + PLANNERS,
BERGENFIELD, NJ - ROBERT J. MUELLER P.L.S., LIC NO 37206 - DATED X/XX/XXXX

BUILDING DATA:		
PARKING LEVEL:	0- 1 BEDROOM UNITS	0- 2 BEDROOM UNITS
1ST FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS
2ND FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS
PARKING DATA:		
1 BEDROOM UNIT:	12 X 18 = 216 SPACES	
2 BEDROOM UNIT:	4 X 20 = 8 SPACES	
TOTAL:	30 SPACES REQUIRED, 25 SPACES PROVIDED	

ELECTRICAL LEGEND	
⊙	• SURFACE MOUNT LIGHT FIXTURE
⊕	• 6" DIA. (ROUND) RECESSED FIXTURE
⚡	• WALL MOUNTED LIGHT FIXTURE
⚡	• NEW OR EXIST SMOKE ALARM, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP
⚡	• NEW OR EXIST CARBON MONOXIDE DETECTOR, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP
⊗	• SURFACE MOUNT FAN / LIGHT FIXTURE
⚡	• SINGLE POST ELECTRICAL SWITCH
⚡	• THREE WAY SWITCH
⚡	• DUPLEX RECEPTACLE OUTLET
⚡	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
⚡	• WATER PROOF RECEPTACLE OUTLET
⚡	• NEW OR EXIST EXHAUST FAN, 80 CFM + 3 FIXTURES, 110CFM + 4 FIXTURES
⚡	• NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
⚡	• NEW TELEPHONE OUTLET - VERIFY TYPE + LOCATION WITH OWNER

LEGEND	
---	EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
---	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
---	NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16" OC (ROUND)
---	EXISTING CONCRETE CONSTRUCTION TO REMAIN
---	EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
---	NEW POURED OR MASONRY CONC CONSTRUCTION
---	FLOOR ABOVE OR BELOW
---	NEW JOISTS, RAFTERS, ETC.
---	NEW GIRDERS, RIDGEBEAMS, ETC.

#	Date	Revision

New Construction for:

Multi Family Building

Block: 106 Lot: 6.01, 6.02, 6.03
145 Main Street
Bergenfield, New Jersey

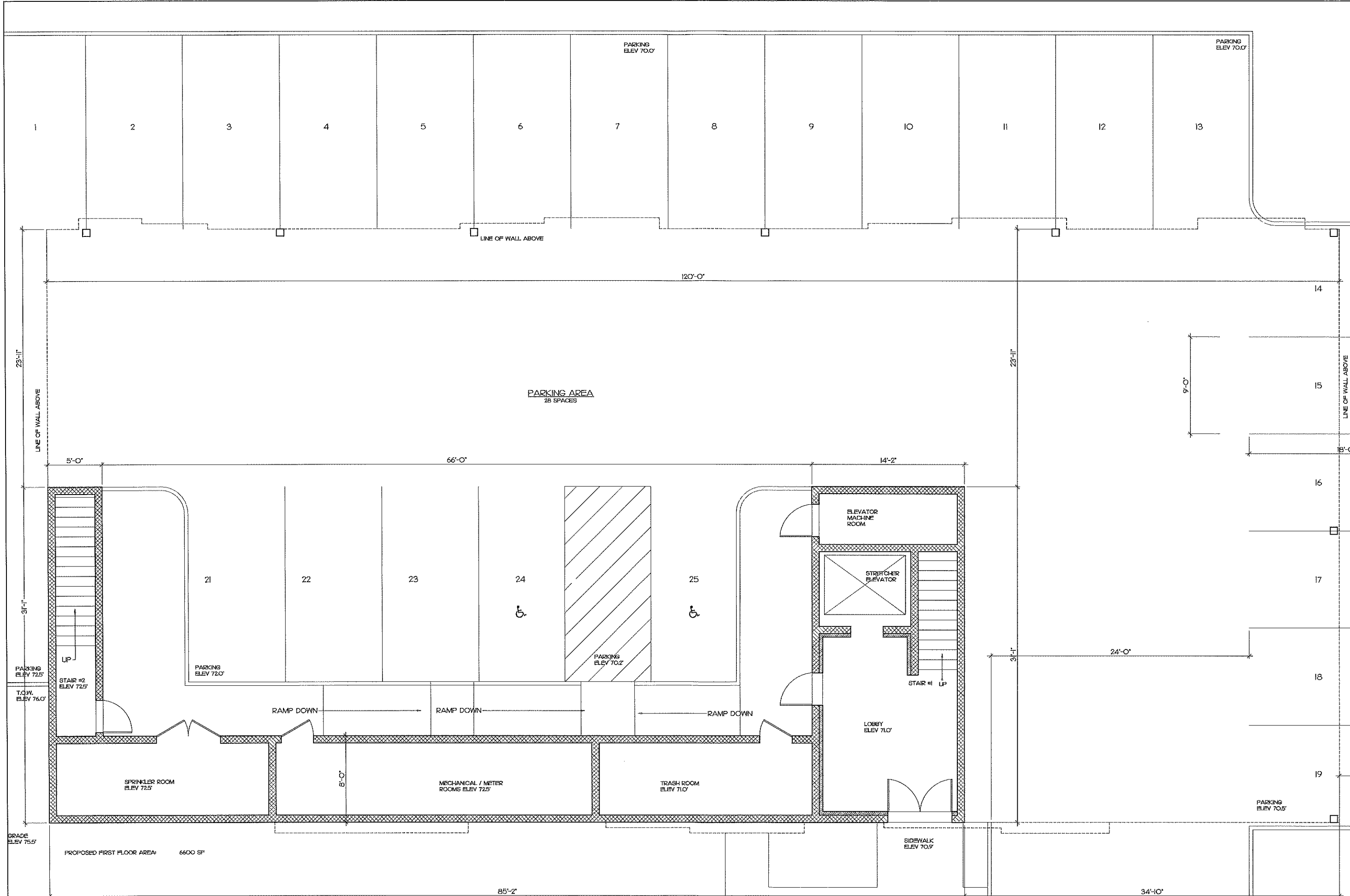
SITE PLAN, LEGEND + ZONING

Scale: AS NOTED

Date: MAY 1, 2020

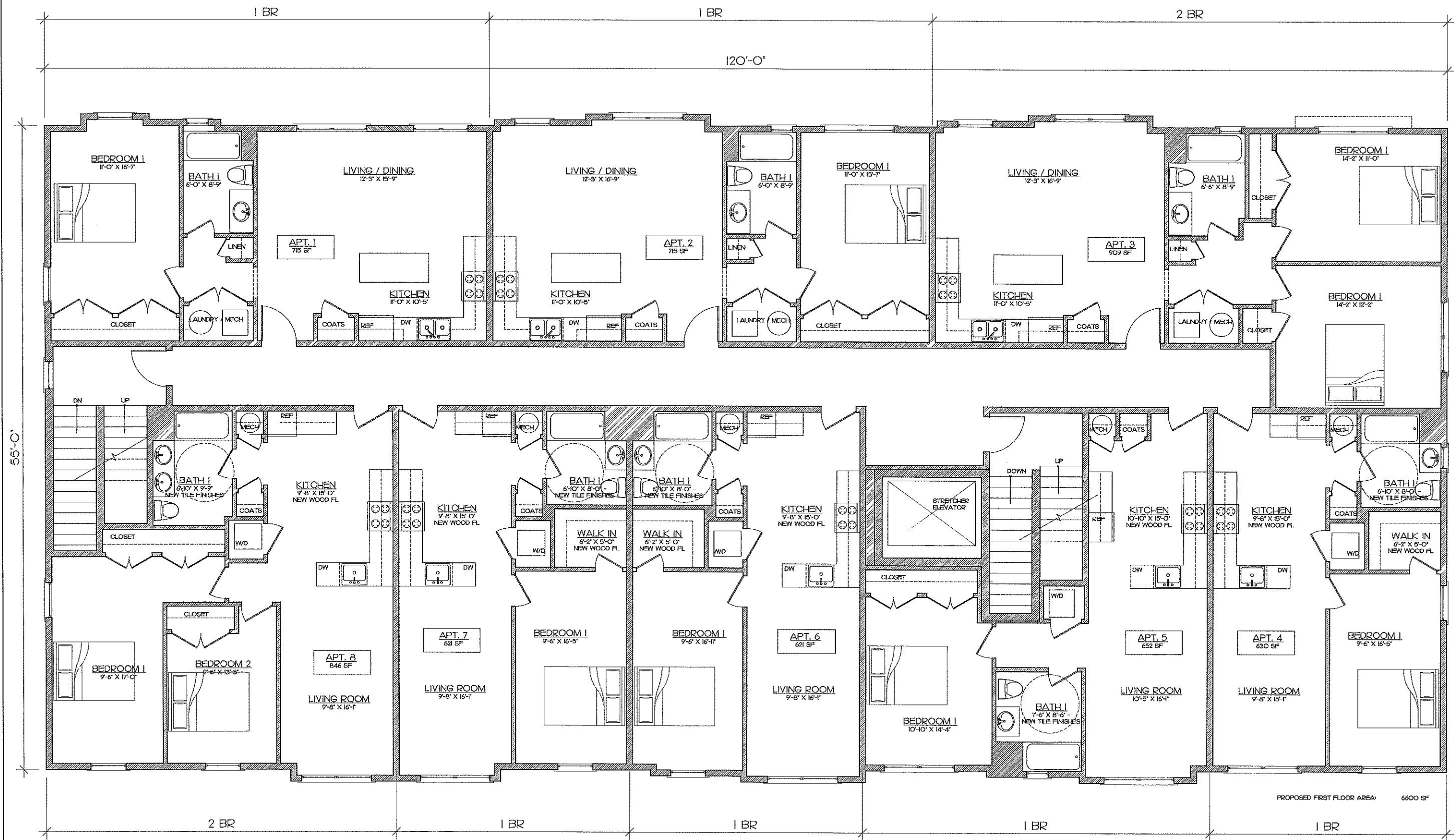
Submission: ZONING APPLICATION

Indemnification Clause:
The owner shall release, hold harmless, and defend the Architect with respect to any changes in construction documents by anyone other than the Architect or changes in any aspect of the work, or the Contractor to build in accordance with the documents.

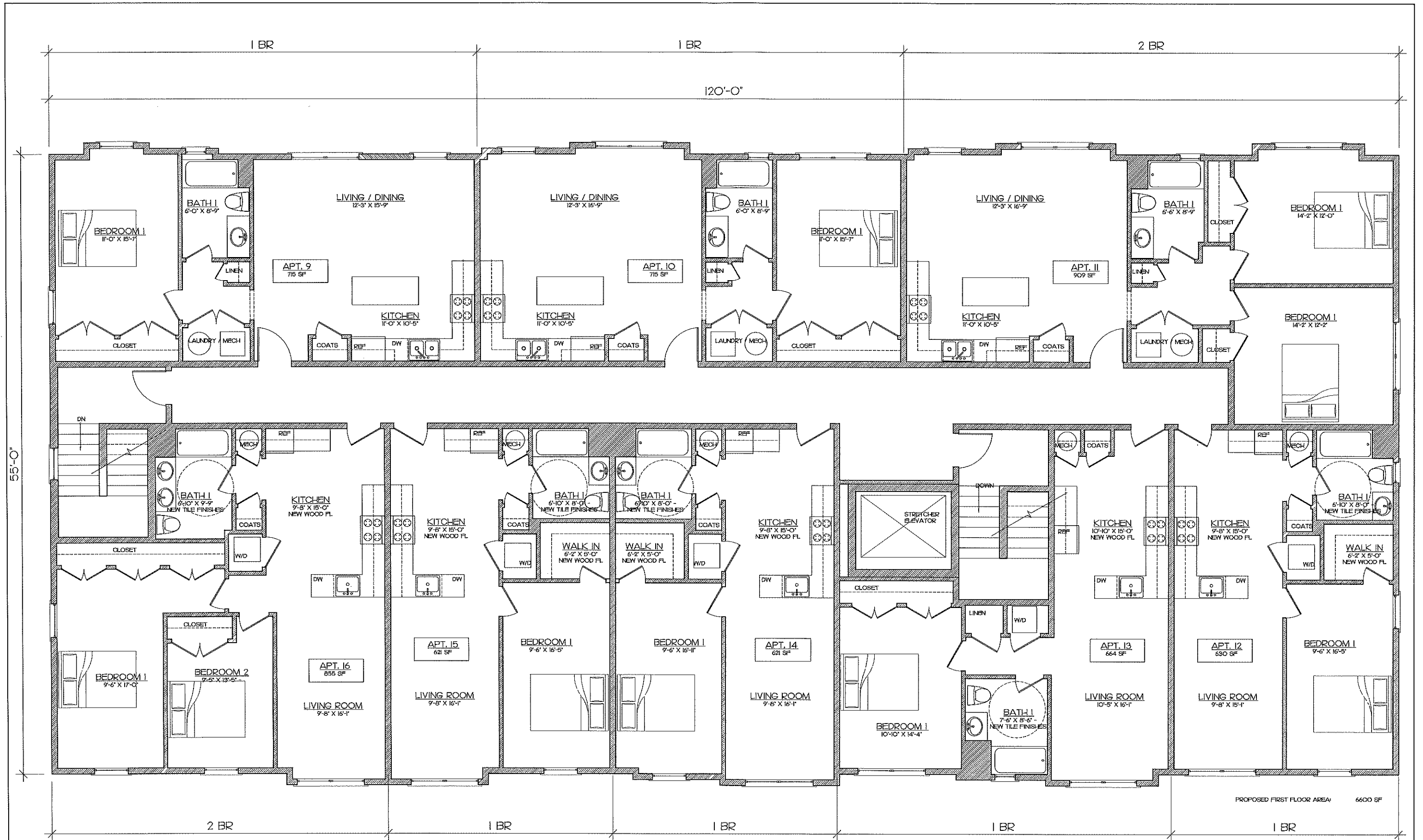


(B) PROPOSED BASEMENT / PARKING LEVEL PLAN
1/4" = 1'-0"

#	Date	Revision
1	May 1, 2020	New Construction for:
2		Multi Family B
3		Block: 106 Lot: 6.01, 6
4		145 Main Street
5		Bergenfield, New Jersey
6		BASEMENT FLOOR PLAN
7		Scale: 1/4" = 1'-0"
8		Date: MAY 1, 2020
9		Submission: ZONING AP
10		Indemnification Clause:
11		The owner shall release, hold harmless
12		Architect with respect to: any changes
13		construction documents by anyone other
14		or changes in any aspect of the work.
15		Contractor to build in accordance with
16		documents.



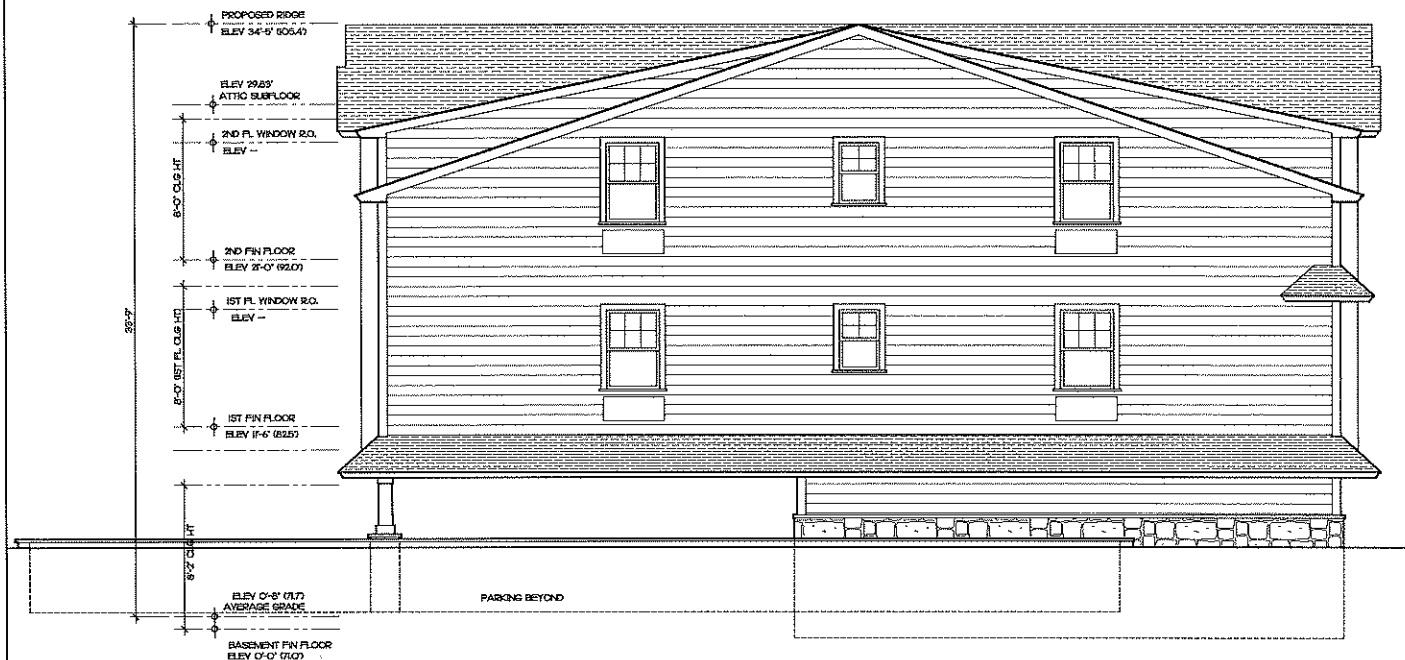
1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



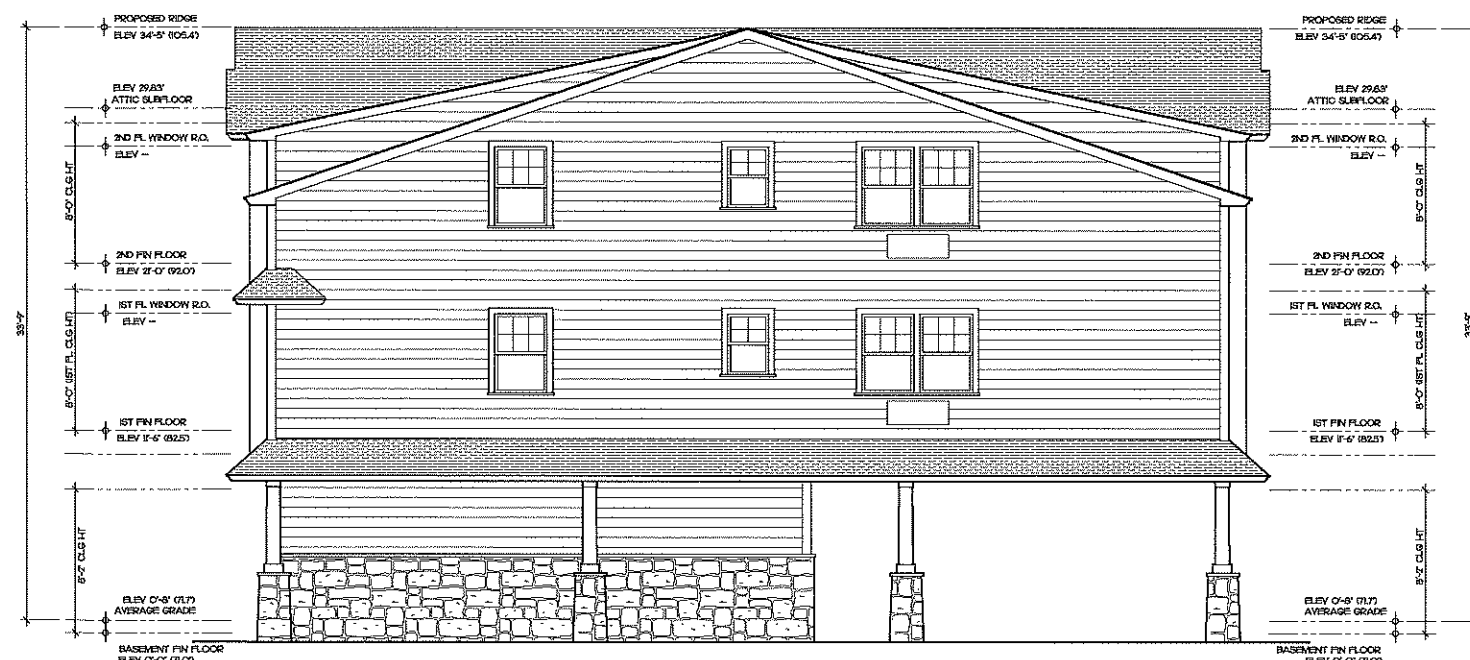
2 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED FRONT MAIN STREET ELEVATION
 3/16" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
 3/16" = 1'-0"



6 PROPOSED RIGHT SIDE ELEVATION
 3/16" = 1'-0"



5 PROPOSED REAR ELEVATION
3/16" = 1'-0"

Date Revision
New Construction for:

Multi Family B
Block: 106 Lot: 6.01, 6
145 Main Street
Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 1, 2020

Submission: ZONING AP

Indemnification Clause:
The owner shall release, hold harmless
Architect with respect to: any change
construction documents by anyone other
or changes in any aspect of the work.
Contractor to build in accordance with
documents.

BOROUGH OF BERGENFIELD
BOARD OF AJUSTMENT

APPLICATION AND INSTURCTIONS TO APPLICATS

Instruction Consist of Pages 1-3

Application Consist of Pages 1-6

RECEIVED BY: _____ DATE: _____

PROPERTY ADDRESS: 132 HIGHVIEW

BLOCK: 297 LOT: 29

DATE APPLICATION RECEIVED: _____

ESCROW FEE: _____

Collected by: _____

Date: _____

APPLICATION FEE: _____

Collected by: _____

Date: _____

FILE NO. _____ DATE _____
 DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
 MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
 OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME JAY GLATT / Rami Glatt
 ADDRESS 132 HIGHVIEW AVE
 OWNER'S NAME Jay Glatt
 OWNER'S ADDRESS SOME PHONE # 201 385-3788
 _____ FED I.D.# or S S _____

Applicant will be represented at public hearing by _____

TO THE BOARD OF ADJUSTMENT:
 Application is hereby made for a variation/appeal from the
 requirements of Section(s) _____ and/or from the
 requirements of the Scheduled Limiting Bulk of Buildings of
 the Zoning Ordinance in accordance with plans and
 specifications attached hereto and/or decision of Zoning
 Officer. The location of this property is at
 NUMBER: 132 HIGHVIEW AVE.

DESIGNATED AS Block(s) 297 and Lot(s) 29
 on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE _____ FRONT YARD _____ REAR YARD _____ SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) GARAGE CONVERTED TO LIVING SPACE

THE REASON FOR DESIRED VARIANCE/APPEAL
GARAGE CONVERTED WITH APPROVAL AND
REQUIRED FOR INTERIOR RENOVATION
ADEQUATE PARKING PROVIDED

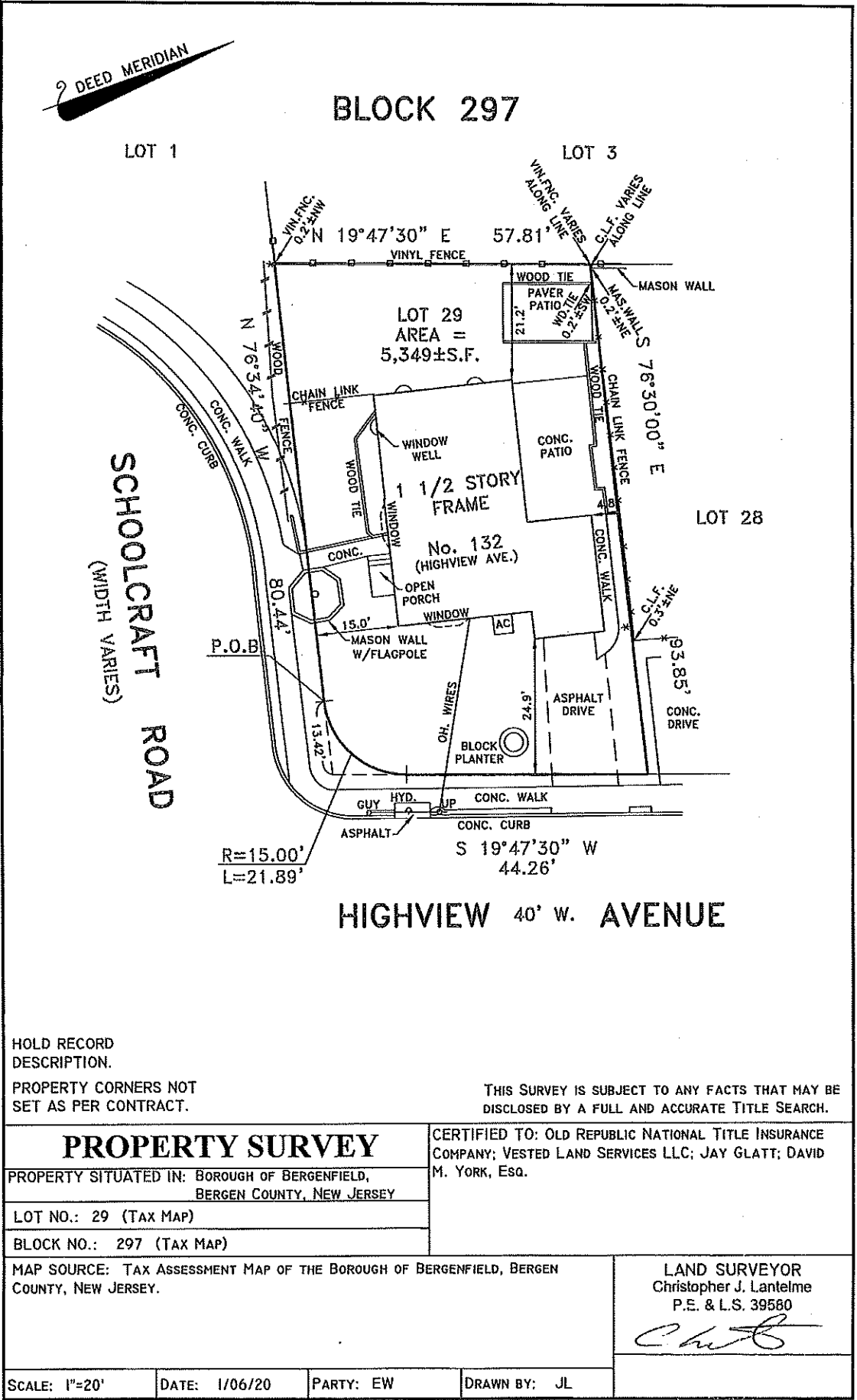
DESCRIPTION OF PROPERTY

1. SIZE OF LOT 90 x 50 2. SQUARE FEET IN LOT 5349
3. SIZE OF PRESENT BUILDINGS 30 x 40 4. STORIES
5. TOTAL AREA ± 2400 SQ. FT. 6. NUMBER OF ROOMS ± 7
7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 39 %
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY SINGLE FAMILY RESIDENTIAL
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES
NO X (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY RESIDENTIAL / SCHOOL
11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES? YES NO X IF SO, DATE FILED
- DISPOSITION
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE? YES X NO (IF SO, EXPLAIN) GARAGE CONVERTED TO LIVING AREA
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE? YES NO X
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD? YES NO X
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER MUNICIPALITY? YES NO X

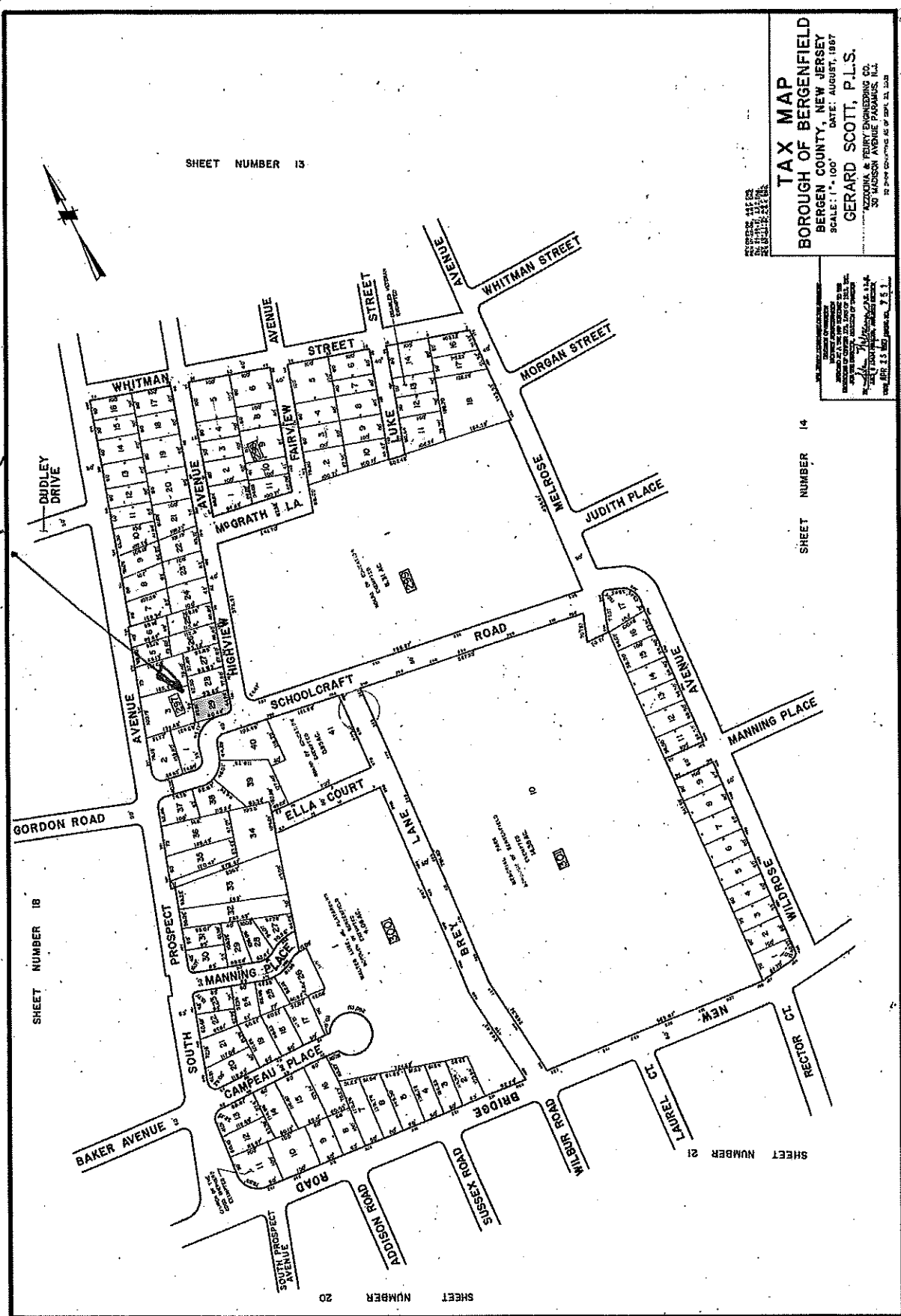
DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO X
17. SIZE OF NEW ADDITION NA x _____ SQ. FT.
NA AREA _____ HEIGHT _____
18. SIZE OF NEW BUILDINGS NA x _____ SQ. FT.
NA AREA _____ HEIGHT _____
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
No change 24.28 %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 1

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)



P&





BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NJ 07621
(201) 387-4055 x 4 FAX (201) 385-7376

**TAX COLLECTOR'S CERTIFICATION
PAYMENT OF PROPERTY TAXES**

Date 9/22/2020
Block 297 Lot 29 Address 132 Highview Ave
Owners Name Jay + Vera Blatt
Owner's Address Same
Phone Number Mark Madaro, Esq 201-385-3788 Cell Number _____
Application for: ☒ Board of Adjustment ☐ Planning Board
☐ Building Department Permit

Description of Work to be performed:

Converting garage to living space

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit From the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current Yes Yes _____ No _____ Last Quarter Paid On: 8/7/2020
(Printout Attached)

Tax Collector/Deputy Tax Collector Certification:

Juan Ortiz
Certification Number T-8454

9/22/2020
Date:



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

September 21, 2020

Rami Glatt
132 Highview Avenue
Bergenfield, NJ 07621

RE: Converting garage into living space

Dear Mr. Glatt


Your application for converting garage into living space has been denied as per Borough Ordinance 186-50.1 (c) for the following reason:

1. Conversion of any new or existing garage(s) into a living space is strictly prohibited.

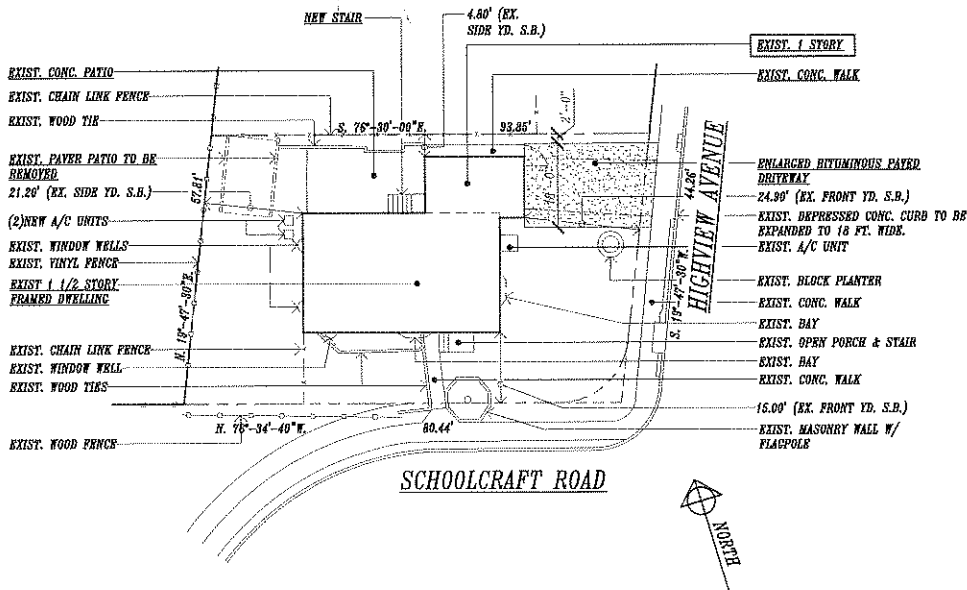
You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,



Michael Ravenda
Zoning Officer



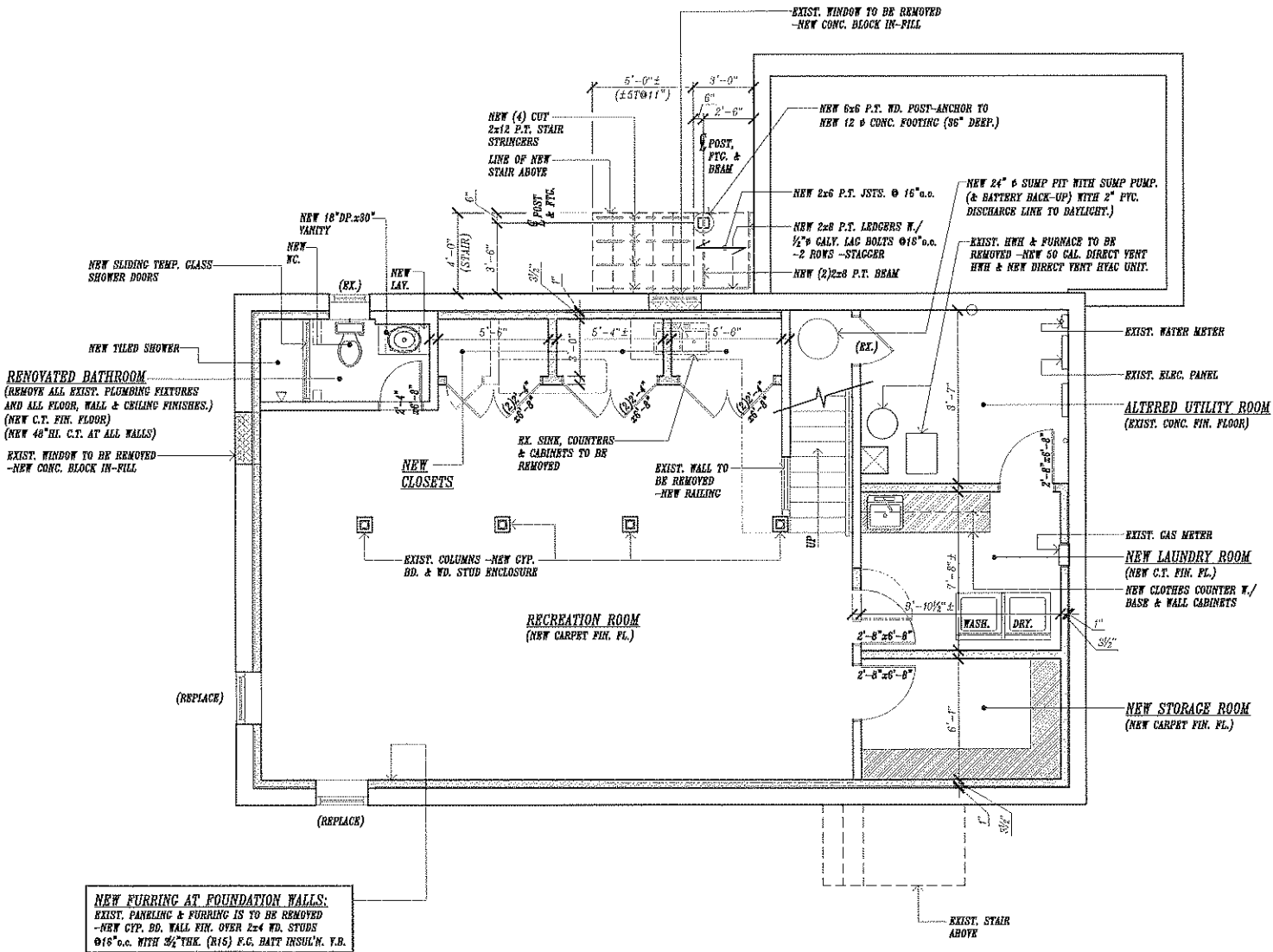
SITE PLAN

Scale: 1"=20'-0"

ZONE: R-6
BLOCK: 297
LOT: 29

ZONING LEGEND: PRINCIPAL BUILDING

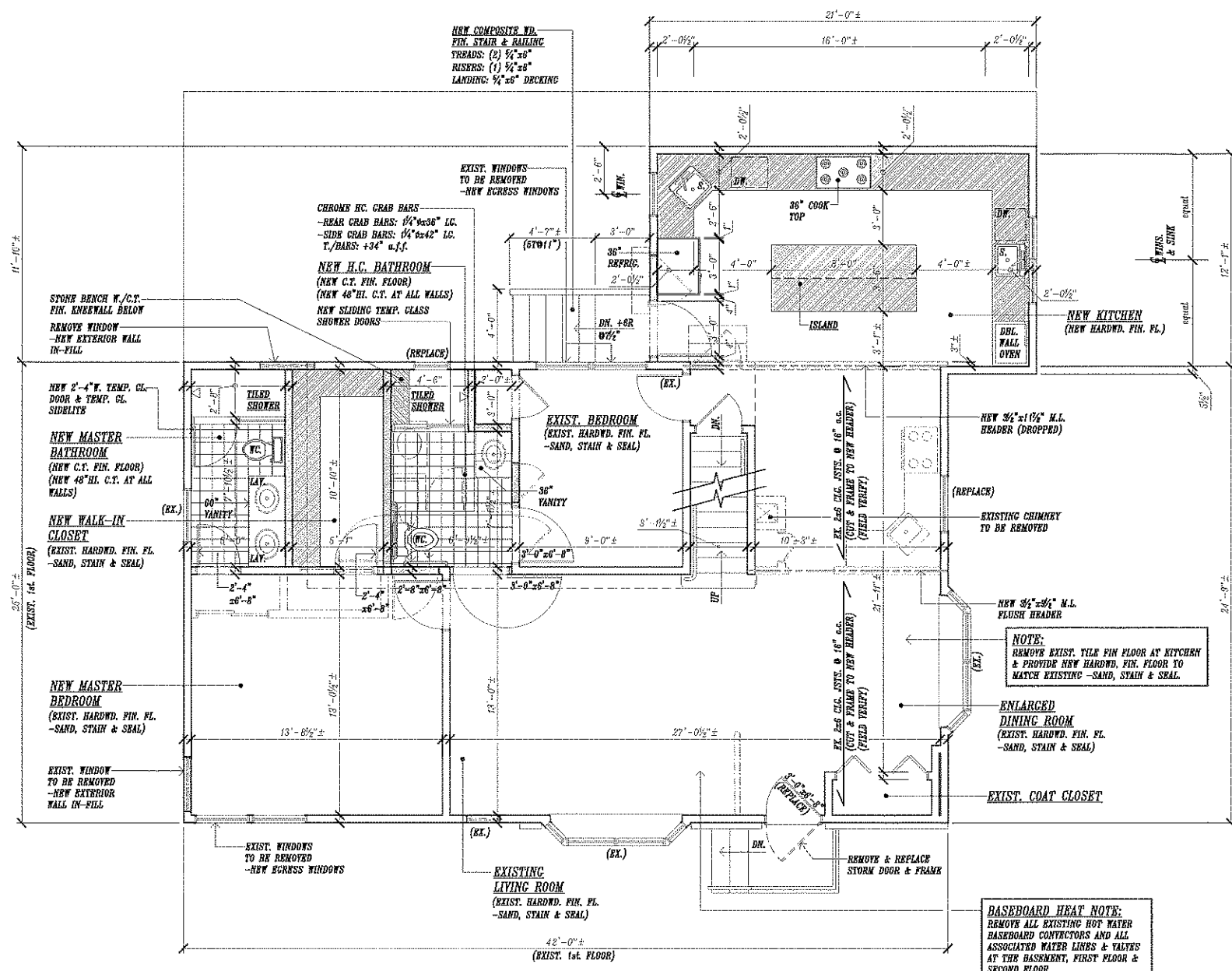
	ALLOWED/REQUIRED	PROPOSED/EXISTING
LOT AREA	5,000 S.F.	5,349 S.F.
LOT WIDTH	50 FT.	93.50 FT.
FRONT YARD	25 FT.	15.00 FT. (AT SCHOOLCRAFT ROAD) (EXIST. -NO CHANGE) 24.90 FT. (AT HIGHVIEW AVENUE) EXIST. -NO CHANGE
REAR YARD	25 FT.	N/A
SIDE YARD (MIN.)	5 FT.	4.80 FT. (EXIST. -NO CHANGE) 21.20 FT. (EXIST. -NO CHANGE)
SIDE YARD (TOTAL)	10 FT.	N/A
LOT COVERAGE (BLDG.)	40% (2,139 S.F.)	24.28% (1,299 S.F.) (EXIST. -NO CHANGE)
IMPROVED LOT COVERAGE	40% (2,139 S.F.)	39.20% (2,097 S.F.) (NEW)
BUILDING HEIGHT/STORIES	30 FT./2 STY.	19 FT./1 1/2 STY. (EXIST. -NO CHANGE)



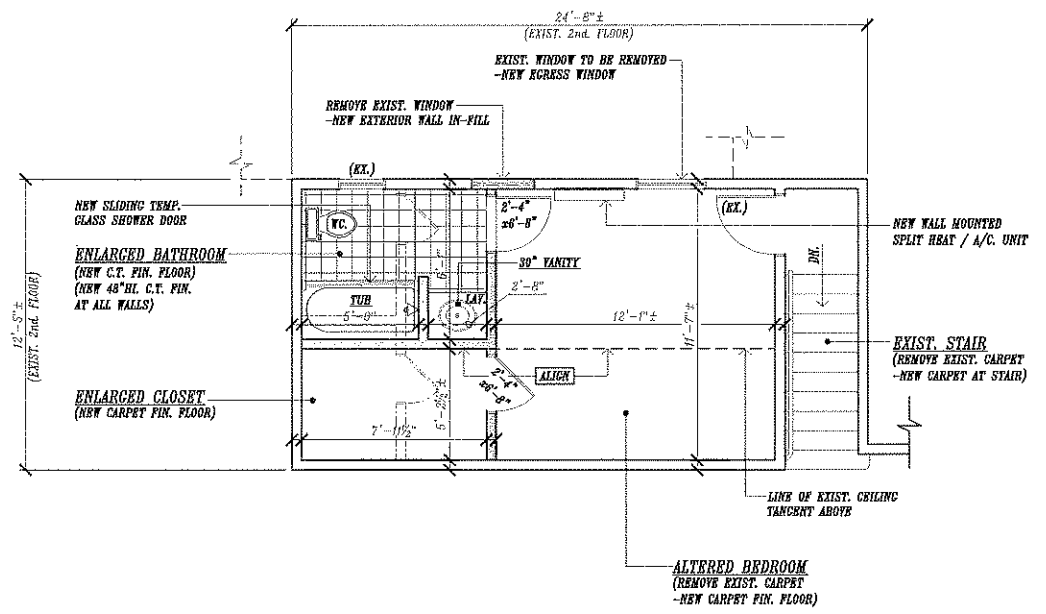
BASEMENT PLAN

Scale: 1/4" = 1'-0"

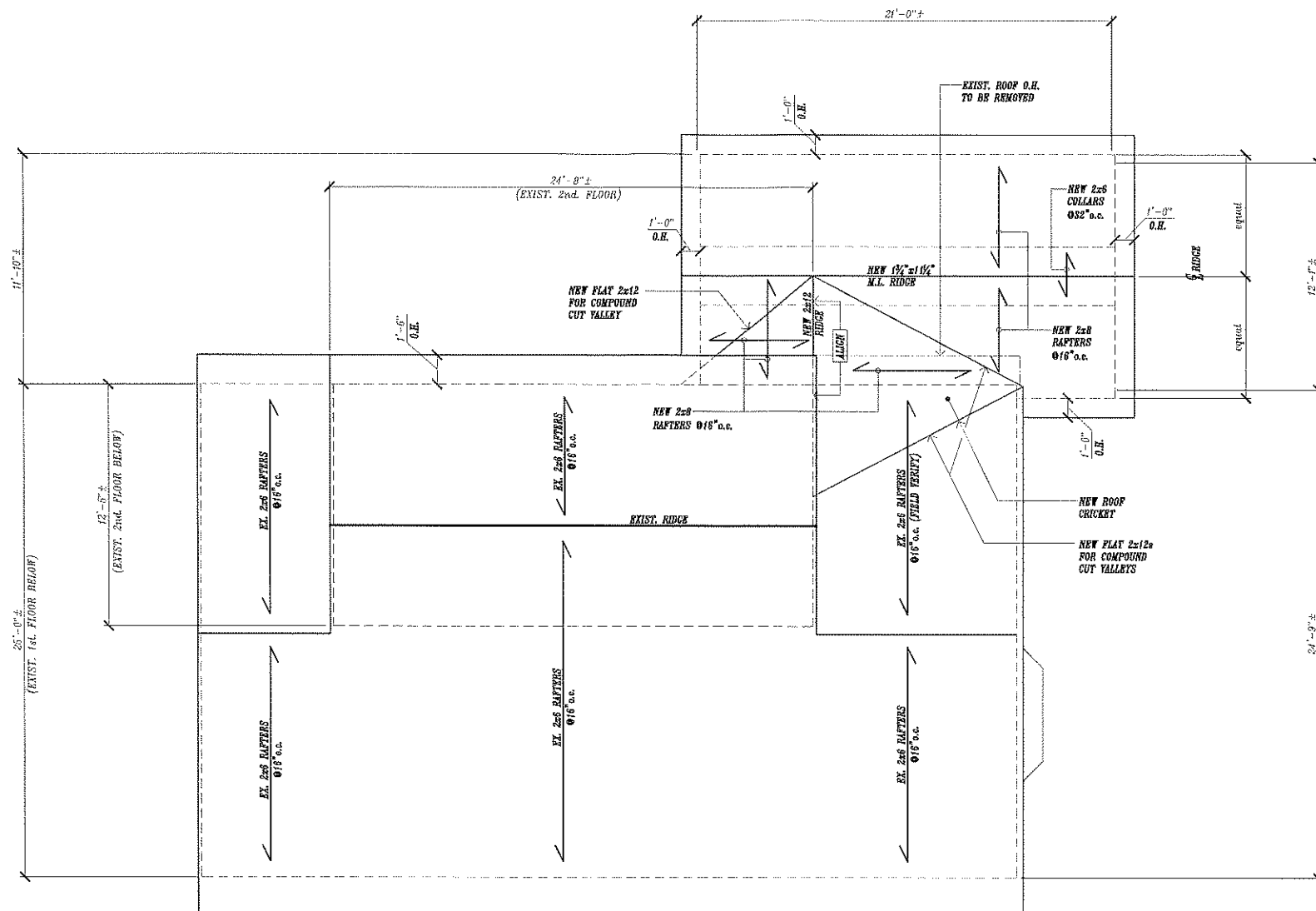
FRENCH DRAIN NOTE:
PROVIDE PERIMETER FRENCH DRAINS AT ENTIRE
BASEMENT - TO DISCHARGE INTO NEW SUMP PIT.



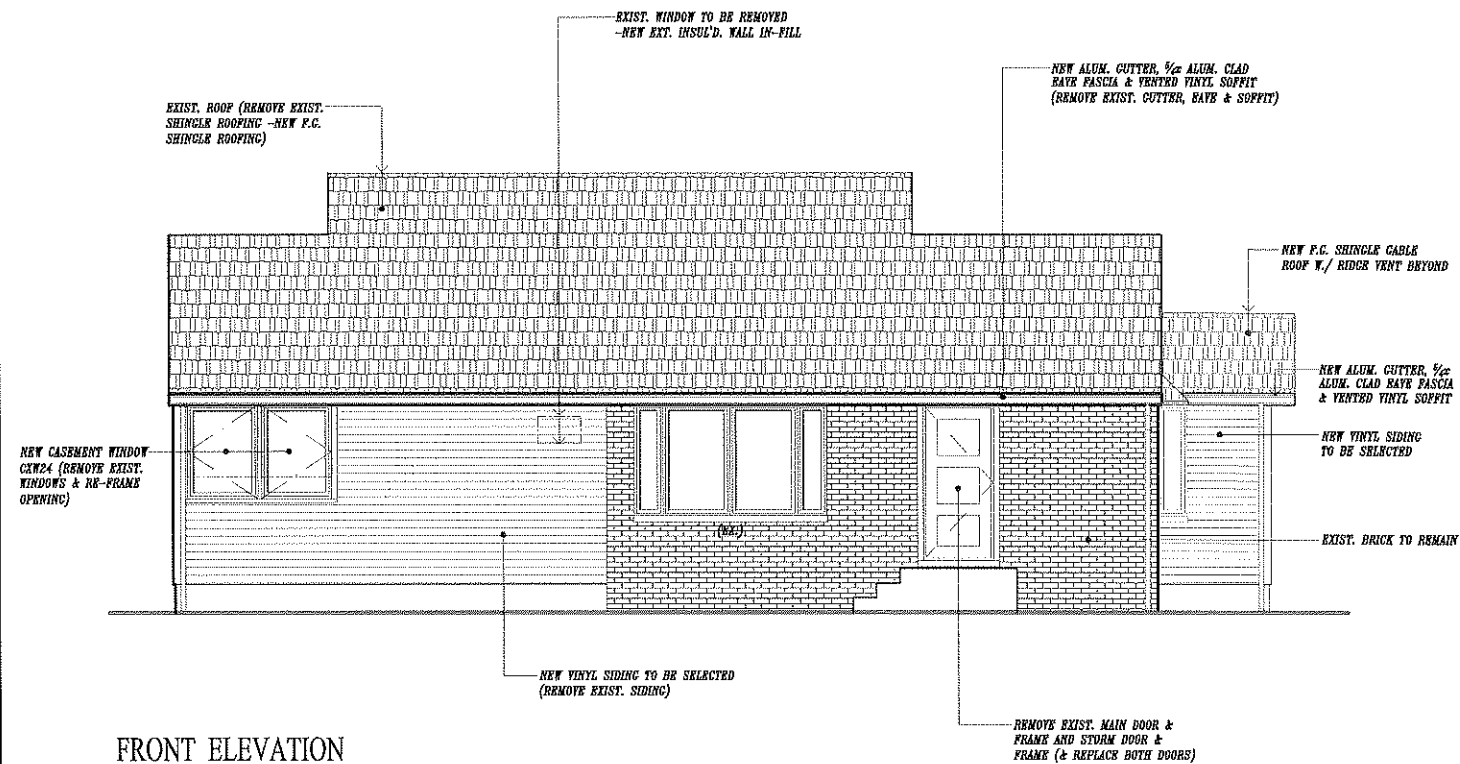
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



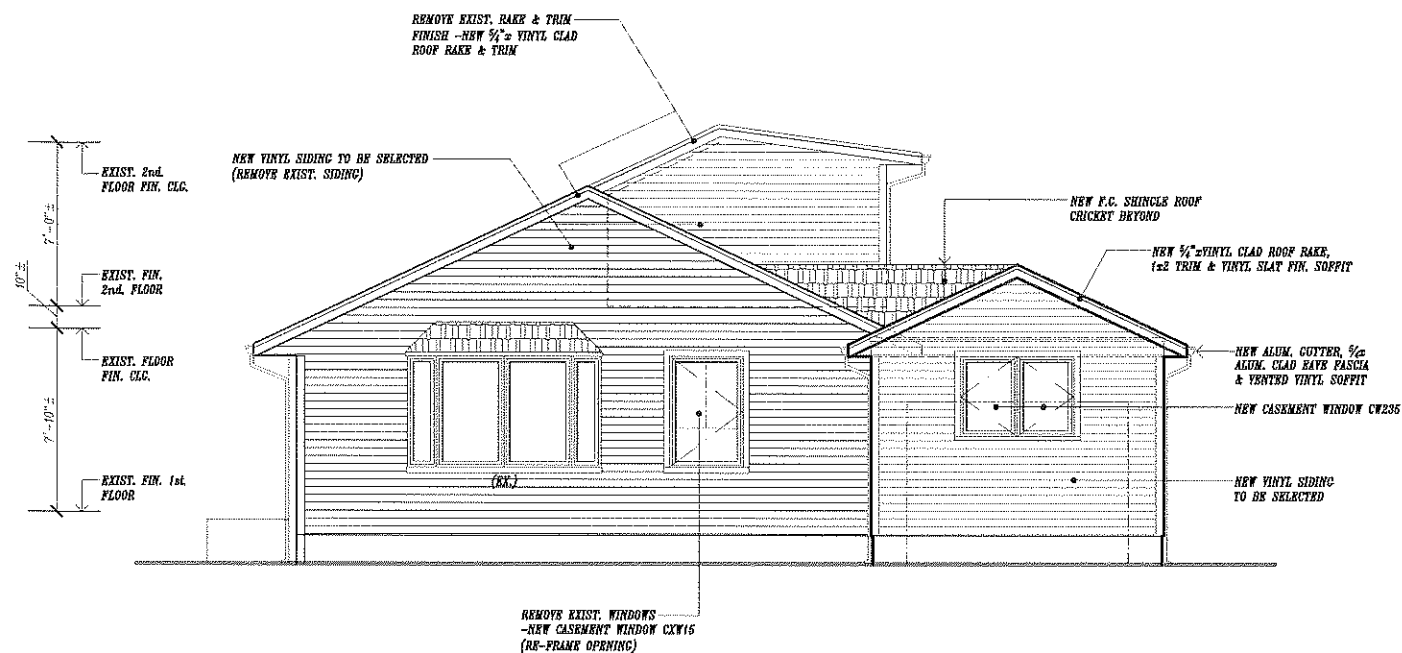
SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



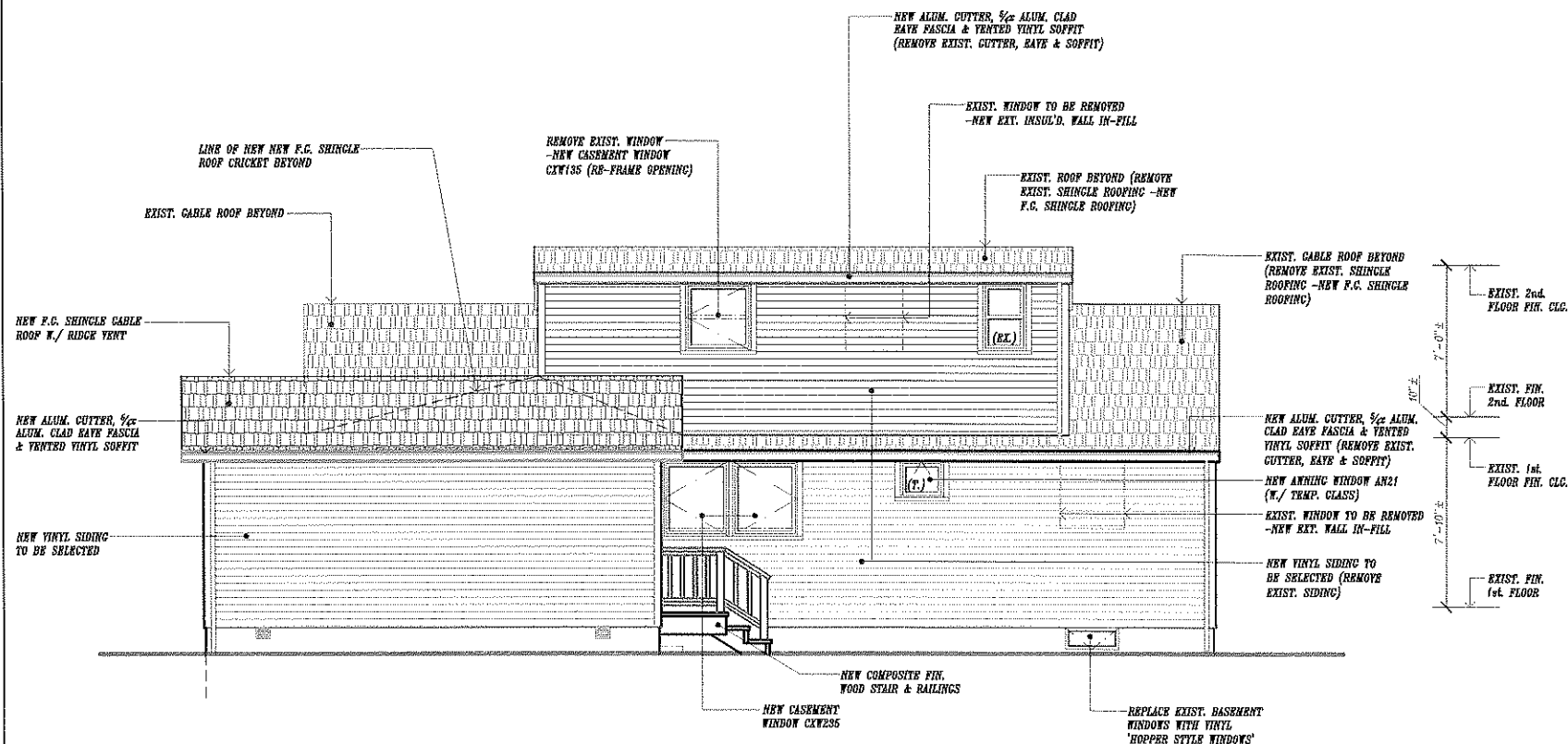
ROOF PLAN / ROOF FRAMING PLAN



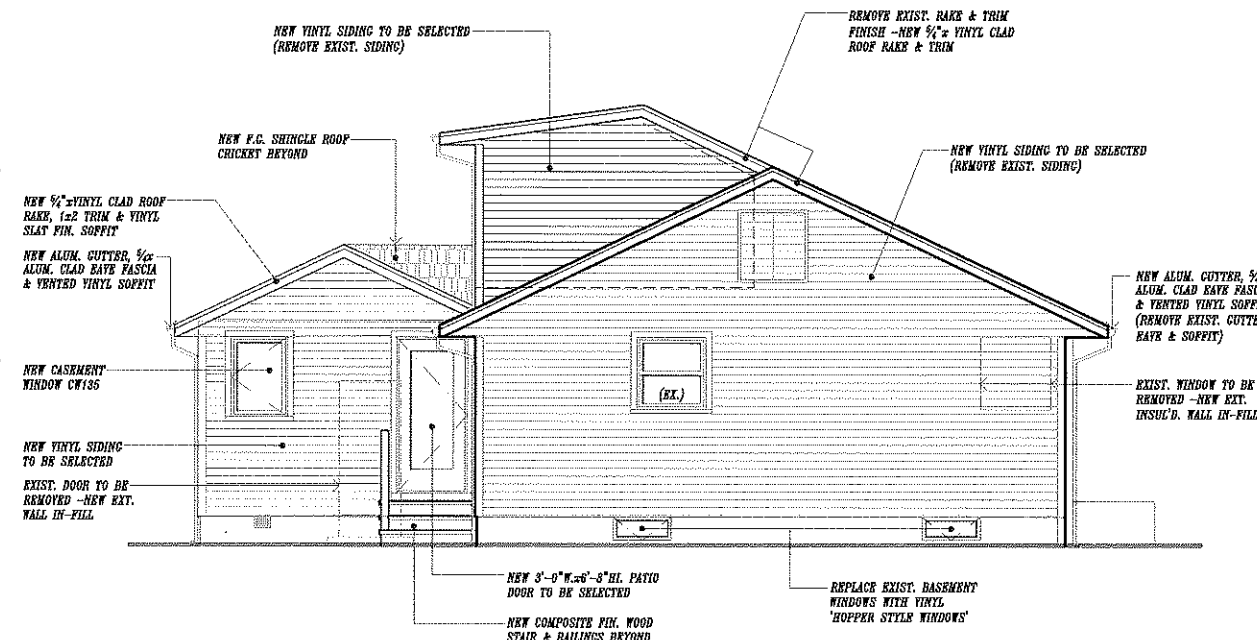
FRONT ELEVATION

Scale: $\frac{1}{4}" = 1'-0"$ 

SIDE ELEVATION

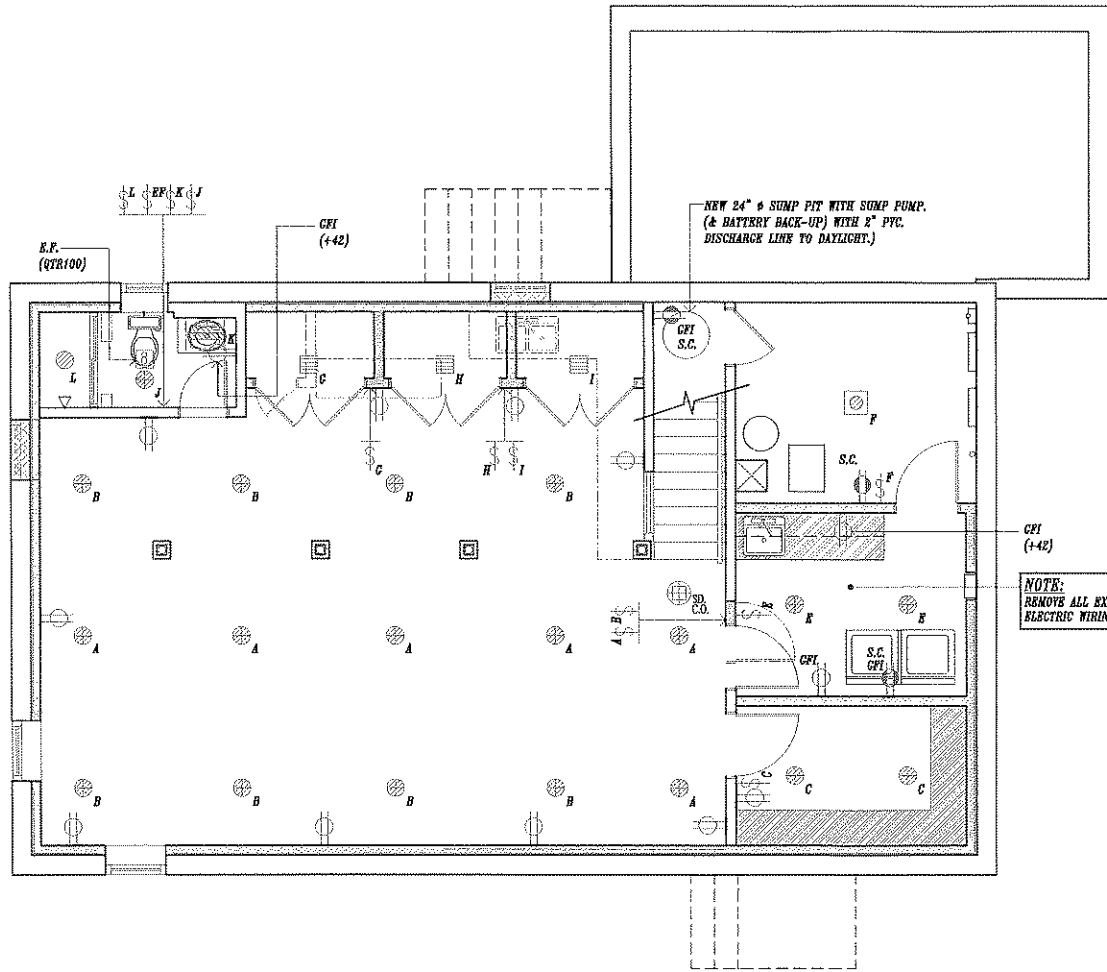
Scale: $\frac{1}{4}" = 1'-0"$ 

REAR ELEVATION

Scale: $\frac{1}{4}" = 1'-0"$ 

SIDE ELEVATION

Scale: $\frac{1}{4}" = 1'-0"$

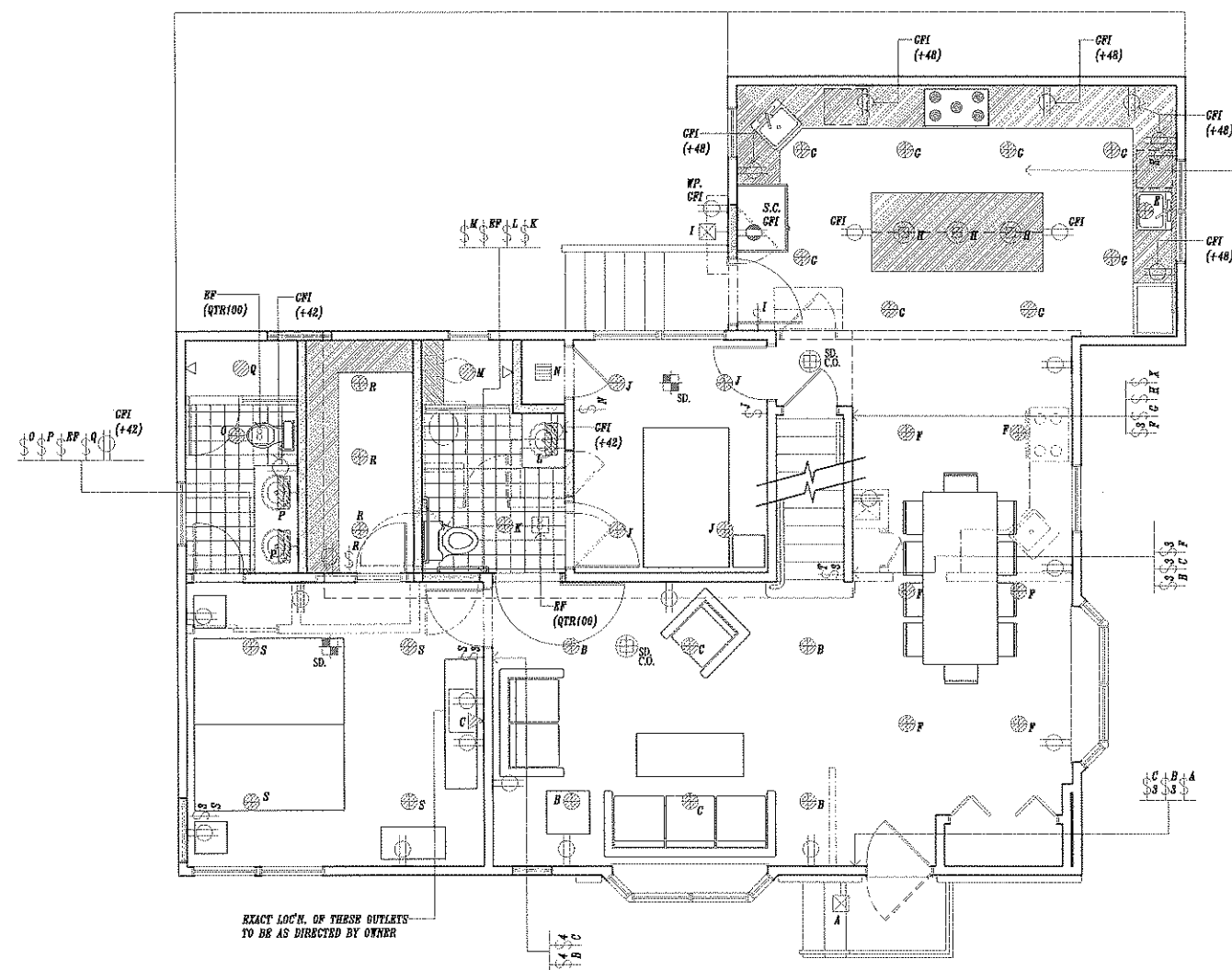


ELECTRIC & LIGHTING LEGEND

- New single pole switch.
- New 3-way switch.
- New 4-way switch.
- New wall mounted 120v. duplex electrical receptacle.
- New wall mounted 120v. duplex electrical receptacle with ground fault circuit interrupt.
- New wall mounted separate circuit duplex electrical receptacle.
- New waterproof wall mounted 120v. duplex electrical receptacle with ground fault circuit interrupt.
- New exterior wall mounted light fixture to be selected.
- New closet light fixture to be selected.
- New ceiling mounted light fixture to be selected.
- New wall mounted vanity light fixture to be selected.
- New ceiling mounted exhaust fan (Broan... refer to plans for model numbers). Provide ducting & through wall or roof exhaust vent.
- New suspended light fixture to be selected.
- New Halo recessed downlight; ML 56 (LED) 5".
- New universal ceiling recessed downlight; Halo H7U1CT-170- alhalite; 60w. A19. (alternate : lightolier).
- New wall mounted coax cable outlet.
- New Interconnected hard wired smoke detector system units with battery back-up.
- New combination interconnected hard wired smoke detector & carbon monoxide detector.

BASEMENT ELECTRIC & LIGHTING PLAN

Scale: 1/4" = 1'-0"

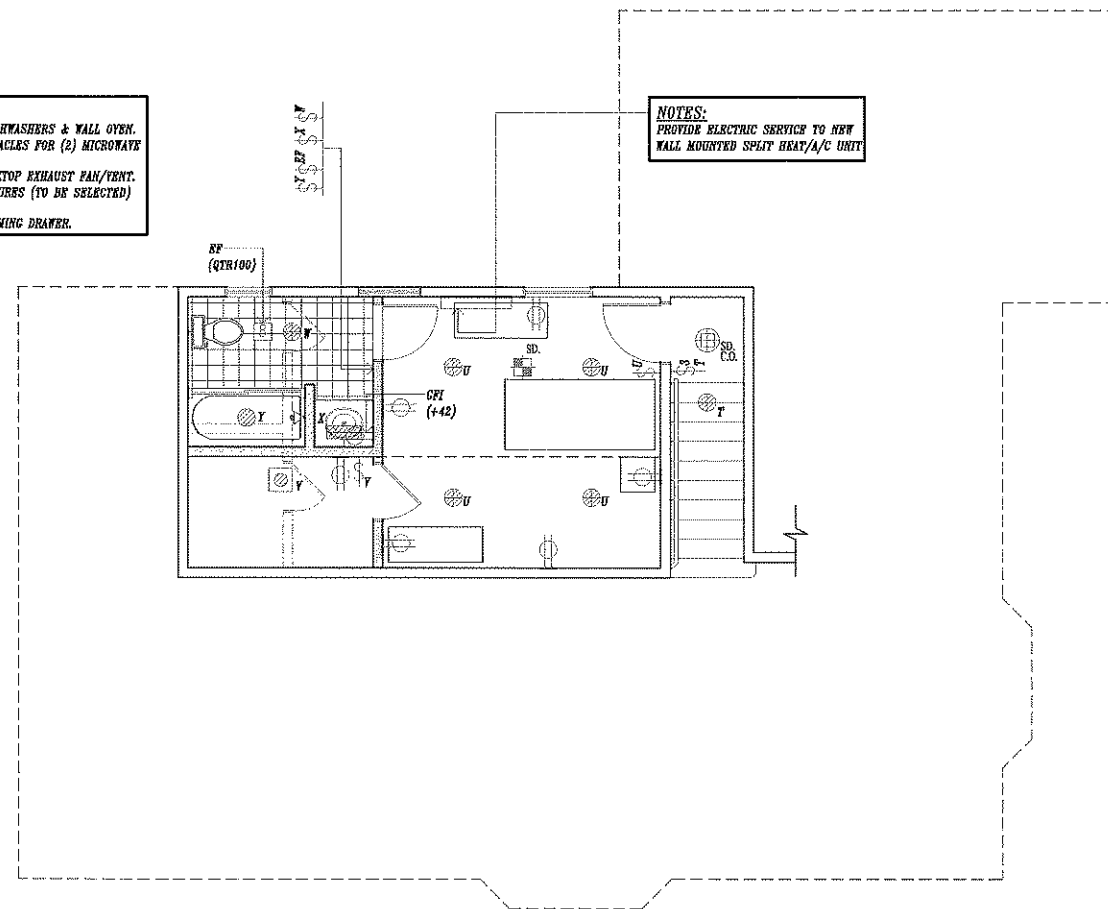


FIRST FLOOR ELECTRIC & LIGHTING PLAN

Scale: $\frac{1}{4}" = 1'-0"$

KITCHEN NOTES:

1. PROVIDE SEPARATE CIRCUITS TO DISHWASHERS & WALL OVEN.
2. PROVIDE SEPARATE CIRCUIT RECEPTACLES FOR (2) MICROWAVE OVENS.
3. PROVIDE ELECTRIC SERVICE TO COOKTOP EXHAUST FAN/VENT.
4. PROVIDE UNDERCABINET LIGHT FIXTURES (TO BE SELECTED) WITH SWITCH CIRCUIT 'X'.
5. PROVIDE ELECTRIC SERVICE TO WARMING DRAWER.



SECOND FLOOR ELECTRIC & LIGHTING PLAN

Scale: $\frac{1}{4}" = 1'-0"$

SPECIFICATIONS

1. GENERAL NOTES:

1. All work must strictly conform to the New Jersey State Uniform Construction Code and all other applicable codes and requirements of all governing agencies having jurisdiction over the work.
2. Contractor must report any discrepancies (conditions or dimensions) immediately to the Architect prior to the start of work... do not scale drawings - dimensions indicated shall govern.
3. The Contractor shall obtain all required building permits.
4. The contractor shall be fully responsible for initiating, maintaining and supervising all safety precautions in connection with the work.
5. All new work in progress (& existing building structure) shall be properly and adequately braced, shored and protected until all work is complete.
6. Contractors and subcontractors shall be responsible for properly coordinating their work with the work of other trades.
7. The term 'provide' shall mean 'furnish and install'.
8. Contractor shall verify all dimensions and elevations in the field, prior to fabrication of steel or placing of concrete.
9. Contractor shall furnish all scaffolding, hoisting equipment and any other equipment that shall be required to perform the work indicated in a safe manner.
10. The contractor shall be responsible for visiting the site and familiarizing himself with all existing conditions prior to submitting his bid.
11. Safe working conditions and all safety requirements established by Osha and the owner shall be observed. Where conflicts exists, the more stringent requirements shall apply. Care shall be exercised to avoid endangering personnel or the structure.
12. Contractor shall coordinate his work with the owner.
13. The contractor shall patch, repair and/or replace existing construction altered by the new work.
14. Contractor shall leave the work area broom-clean everyday.
15. Refer to the drawings for additional notes and specifications not listed herewith.

2. DEMOLITION:

1. Remove the existing ceiling & roof structure at the existing one story extension.
2. Remove all roofing, gutters, leaders, eave & soffit finishes. Remove all existing roof rakes & trim. Remove existing doors & windows where shown & noted to be removed. Remove all existing siding. Remove the existing chimney.
3. Remove the existing basement bathroom floor, wall & ceiling finishes. Remove all existing plumbing fixtures & plumbing lines.
4. Remove the counter tops, sink & base cabinets at the basement. Remove all wall & ceiling finishes at the basement. Remove all existing baseboard heat convectors & remove all existing electric wiring & electric elements at the basement. Remove the existing boiler & hot water heater and all associated plumbing lines.
5. Remove the existing first floor bathroom. Remove all existing floor, wall & ceiling finishes at the bathroom. Remove all existing plumbing fixtures & plumbing lines. Remove the existing kitchen, including all counter tops, base & wall cabinets and appliances. Remove existing kitchen finish flooring. Remove the existing chimney. Remove all existing baseboard heat convectors.
6. Remove the existing second floor bathroom floor, wall & ceiling finishes. Remove all existing plumbing fixtures & plumbing lines. Remove all existing baseboard heat convectors.
7. Remove interior & exterior walls where shown to be removed.
8. Refer to the drawings for additional demolition work.

3. EARTH WORK AND FOUNDATION:

(exterior stair foundation only)

1. The contractor shall perform all the earth work operations necessary for the performance of the contract. It shall include but not necessarily be limited to the following:

a) clear the site, trip and remove all vegetation's, trees, stumps, pavements, top soil and unsuitable material at least five (5) feet beyond the limit of proposed foundations.

b) excavation for foundations. do not undermine existing foundations of building.

c) compaction of subgrade, fill and backfill materials to 95% of maximum density as per astm d-1557.

d) provide suitable granular fill and backfill as may be required.

e) shoring and sheeting as required to support excavation.

f) pumping and bailing as necessary.

g) protection around excavations and underground utilities.
2. The contractor shall maintain and operate proper pumps and other equipment as required to keep excavation dry during construction.
3. All fill and backfill shall be clean and well graded granular excavated on site material, compacted in

4. All surplus excavated material shall be legally disposed of by the contractor.

5. Foundation has been designed for an assumed net soil bearing capacity of three thousand (3000) pounds per square foot.

6. Provide staking and surveying as required.

4. CONCRETE:(exterior stair foundation only)

1. All concrete shall be controlled concrete with a minimum ultimate compressive strength of 3000 psi after 28 days and shall comply with all ACI building code requirements.
2. No concrete work shall be constructed in cold weather conditions, unless cold weather construction procedures are performed in compliance with ACI specifications.

5. MASONRY: (none)

6. STRUCTURAL STEEL: (none)

7. WOOD:

1. All new first floor joists shall be as manufactured by Truss Joist.
2. All new roof beams & headers shall be as manufactured by Truss Joist (versa-lam 2.0 3100) All new window & door headers shall be (2) 2 x 10's unless otherwise noted as microlams.
3. All new rafters, collars & ceiling joists shall be douglas fir no. 2.
4. All new wall studs shall be Douglas fir stud grade.
Note: All interior walls shall be framed with 2 x 4 studs at 16" o.c.,
Note: Provide solid wood post bearing to seat all beams and headers (4"x & 6"x full beam or header width).
5. Provide steel framing connectors at all new framing connections. Framing connectors shall be as manufactured by Simpson Strong Tie Company. Provide size and type as recommended by applicable Federal Specifications for nails, staples, bolts and washers, screws and anchoring devices.
6. New wall sheathing:
APA rated 1/2" sheathing exterior grade plywood, (C-C) 32/16 exposure classification.
7. New roof sheathing: APA rated 5/8" sheathing exterior grade plywood, (C-C) 32/16 exposure classification.
8. Provide new interior wood baseboard, window and door casings at all new basement, first floor & second floor construction ...to match existing (or as selected by the Owner)
All wood trim shall be paint grade... Provide primer coat & (2) fin. coats...color & finish to be selected.
9. Provide new lavatory cabinets (& counter tops) at the basement, first floor & second floor bathrooms (to be selected).
10. Provide new kitchen base & wall cabinets & granite or quartz counter tops (with tiled back splashes)...to be selected...provide separate price for installation.
Provide (& install) new kitchen appliances.
11. Provide new pine railing with rail, balusters & newel post at the lower basement stair run...to be selected...sand, stain & seal all railing components.
12. Provide southern pine no. 2 pressure treated rear exterior stair framing.
Provide composite wood decking, composite stair finishes & railings at the new exterior stair...to be selected.
13. Provide built-in base & wall cabinets & counter top at the basement laundry room with a plastic laminate finished counter top...to be selected.

8. THERMAL & MOISTURE PROTECTION:

1. Thermal Insulation: Certainteed fiberglass batts with kraft faced vapor barrier.

A. Existing exterior walls: 3 1/2" thk. (R15)
2. Building paper: Dupont tyvek housewrap... seal all overlaps with clipper tape.
3. Sound Insulation: Provide 3 1/2" thk. sound attenuation blankets at all the first floor & second floor bathroom walls.
4. Siding: Vinyl Siding is to be selected... Provide 3" wide vinyl window & door casings & 2" hi. sills at all the windows & doors.
5. Roofing: Provide new fiberglass dimensional roof shingles at all the existing & new roofs ... to be selected... over 15# asphalt saturated felt ...Provide ice/water shield - 36" wide at all roof eaves & valleys.
6. Provide aluminum flashing at all roof / wall intersections... lap up 4" minimum.
7. Provide aluminum clad roof eave fascias, vented vinyl soffits and provide vinyl clad roof rake board & trim at all the existing & new roofs.
Provide vinyl clad roof rakes & trim at all the existing & new roofs.
8. Provide Cor-a-vent roof ridge vent at all the existing & new roof ridges.
9. Provide aluminum gutters and leaders at all the existing & new roof construction as shown on the elevations.
10. Provide integral vent stack flashing at all the new vent stack.

9. DOORS & WINDOWS:

1. Windows: All new windows shall be as manufactured by Andersen (400series). Refer to the elevations for model nos.
Provide vinyl clad exterior & painted wood interior frames & windows.
Provide high performance low E glass. Provide insect screens & hardware (to be selected).
2. Interior doors: All doors to be 1 3/8" thk. solid core raised paneled masonite doors, except all closet doors shall be hollow core masonite doors...Panel style is to be selected.
All hardware shall be schlage (or equal)... style & finish to be selected...refer to the plans for door sizes.
3. Exterior doors: New front door & storm door & hardware is to be selected.
New rear door & hardware is to be selected.

10. FINISHES:

1. Wallboard: - 1/2" U.S.G. (or approved equal) gypsum board at all new walls and ceilings. All wallboard to be screw fastened, provide joint & inside corner tape, corner beads and (3) coats joint compound - smooth finish... provide paint or wallpaper as selected by owner.
Note: Walls & ceilings to receive ceramic tile finish shall be provided with U.S.G (or approved equal) 1/2" durock cement board. All new shower and tub walls & ceiling shall receive ceramic tile... tile & grout color to be selected. New bathroom walls & ceilings (not to receive tile finish) shall receive U.S.G. (or approved equal) 1/2" moisture resistant gypsum board.
2. New hardwood finish flooring is to match existing...sand, stain & seal.
3. New ceramic tile finish flooring (& grout) is to be selected.
4. New carpeting & padding is to be selected.

11. SPECIALTIES:

1. Provide closet accessories (to be selected) at the following closets:

- new basement closets

- new first floor & second floor bedroom closets
2. All bathroom accessories, i.e. mirrors, towel rods, toilet paper holders, medicine cabinets, etc. at the basement, first floor & second floor bathrooms are to be as selected by the Owner.
New tempered glass shower door & tempered glass side lite at the new master bathroom shower is to be selected. New sliding tempered glass shower doors at the basement bathroom, first floor H.C. bathroom and at the second floor bathroom are to be selected.

12. MECHANICAL:

- A. Plumbing:

1. The plumbing contractor shall perform all work required in strict conformance with the requirements of the National Standard Plumbing Code, latest edition.

2. The plumbing contractor shall furnish and install (but, not be limited to) the following devices as required:

1. all new 3/4" diam. plastic tube hot & cold lines.

2. all new pvc drains, traps, cleanouts, waste and soil lines, vent stacks, vent lines, stack vent, etc.
Note: All plumbing lines are to be wrapped with 1" thk. foam pipe insulation wrap.

3. Provide new plumbing lines to the basement, first floor & second floor bathrooms.

4. Provide new plumbing lines to the new basement laundry room.
Note: Provide metal hoses at the washing machine & an automatic shut-off sensor.
Provide new floor drain & tray at the laundry room.
Note: Provide new dryer exhaust ducting & wall vent.
(& provide gas line, hook-up & adjacent shut-off valve)

5. Provide new plumbing lines to the new kitchen.

6. Provide new plumbing fixtures and trim. (to be selected)

7. Provide new gas line to the new basement hvac unit. (& hook-up)

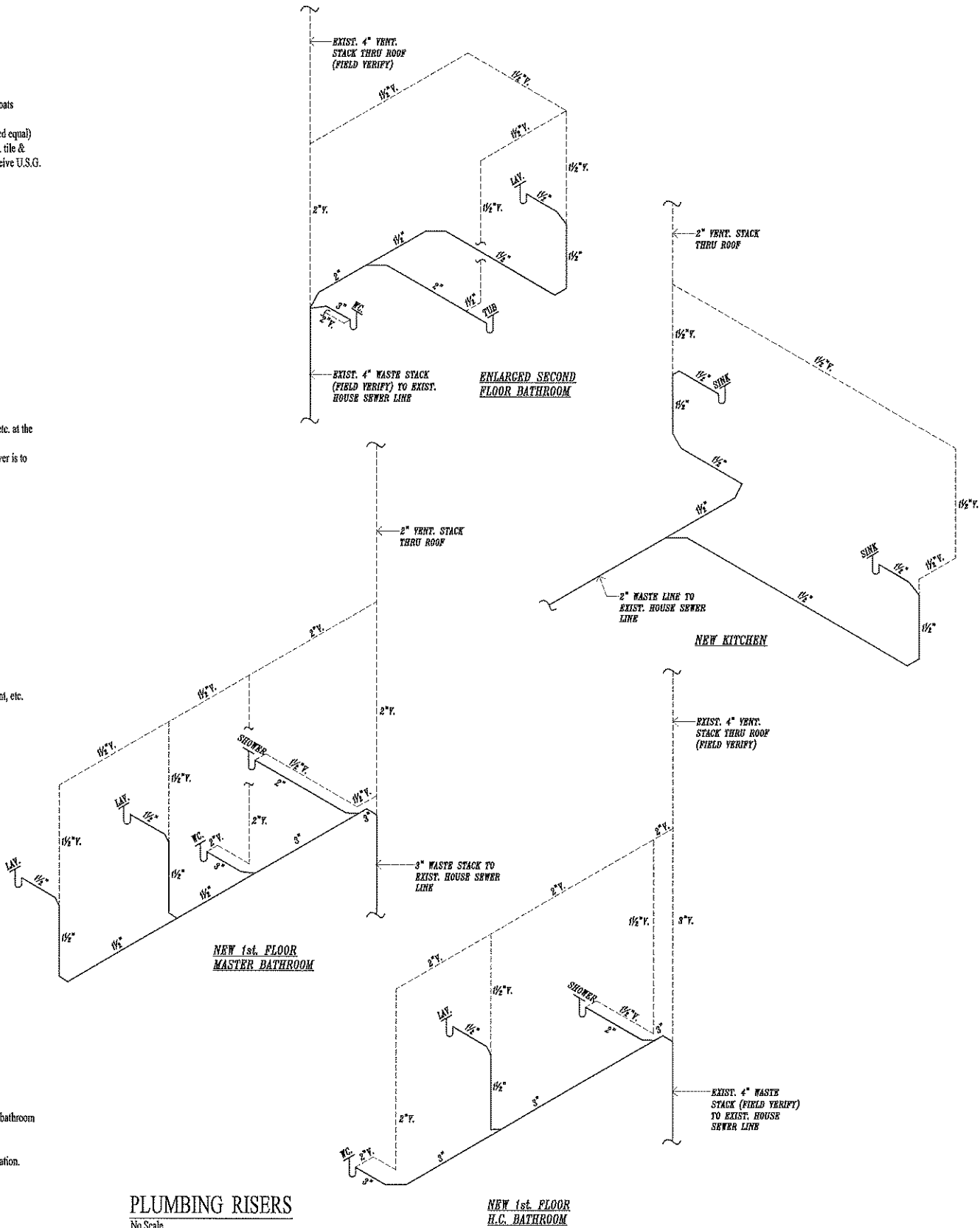
8. Provide new gas line to the new hot water heater. (& hook-up)

9. Provide new gas line to the new kitchen cook top (& hook-up)HVAC.
1. Provide new direct vent hvac unit at the basement utility room.
The hvac contractor shall calculate the heat loss and heat gain at the house & shall determine the size of the unit.
2. The hvac contractor shall provide all duct work, diffusers, returns, thermostats, etc. as required to complete the work.
3. Provide a new wall mounted split system heat & A/C unit at the second floor bedroom.
The hvac contractor shall calculate the heat loss and heat gain at the second floor bedroom & bathroom & shall determine the size of the unit.
4. Provide (2) A/C condenser units on a 4" thk. concrete pad. Refer to the site plan for the location.

13. ELECTRICAL:

1. All electrical work shall comply with the latest edition of the National Electric Code and all sub codes having jurisdiction over the work.
2. The electrical work shall include, but not be limited to the following:

1. All electrical devices, breakers, wiring and lighting fixtures, receptacles and electrical items noted on the electrical plans shall be provided.
2. Provide new 200 amp service & service panel box.
3. Provide new hard wired smoke detectors (& carbon monoxide detectors) as shown on the electrical plans.
4. Provide coax cable lines & outlets as shown on the electrical plans.
5. Provide electric service & hook-up of the new A/C units.
6. Refer to the electrical plans for additional information.



PLUMBING RISERS
No Scale

FILE NO. _____ DATE 09-16-2020
DATE OF HEARING 10-19-2020 DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 34 Highgate Terrace LLC
ADDRESS 34 Highgate Terrace, Bergenfield NJ 07621
OWNER'S NAME 34 Highgate Terrace LLC
OWNER'S ADDRESS 34 Highgate Terrace, Bergenfield PHONE # 917 747 5757
85-2640532 FED I.D.# or S S _____

Applicant will be represented at public hearing by Jordan Rosenberg
Architect + Associates

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the
requirements of Section(s) _____ and/or from the
requirements of the Scheduled Limiting Bulk of Buildings of
the Zoning Ordinance in accordance with plans and
specifications attached hereto and/or decision of Zoning
Officer. The location of this property is at
NUMBER: 34 Highgate Terrace

DESIGNATED AS Block(s) 323 and Lot(s) 19
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-6 in the RS zone

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE 33.9% FRONT YARD _____ REAR YARD _____ SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) Total improved lot coverage 47.9

THE REASON FOR DESIRED VARIANCE/APPEAL

This lot has a deficient lot width
of 50' wide wher 60' is Required.

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 50 x 120 2. SQUARE FEET IN LOT 6,000
 3. SIZE OF PRESENT BUILDINGS 32 x 26 4. STORIES 2
 5. TOTAL AREA 695 SQ. FT. 6. NUMBER OF ROOMS 6
 7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 112%
 8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single family

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____
 NO ☒ (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____
Single family

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
 PREMISES? YES _____ NO ☒ IF SO, DATE FILED _____

DISPOSITION _____

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
 ORDINANCE? YES _____ NO ☒ (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
 YES _____ NO ☒

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
 YES _____ NO ☒

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
 MUNICIPALITY? YES _____ NO ☒

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO ✓
17. SIZE OF NEW ADDITION _____ X _____ SQ. FT.
 _____ AREA _____ HEIGHT
18. SIZE OF NEW BUILDINGS _____ X _____ SQ. FT.
 _____ AREA _____ HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
33.9 %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR ONE

See
Architect
Plans

NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

4

BOROUGH OF BERGENFIELD
NOTICE TO PROPERTY OWNERS

Notice is hereby given that the ZONING BOARD of ADJUSTMENT of the BOROUGH of BERGENFIELD will hold a public hearing at the Municipal Building, 198 North Washington Avenue, Bergenfield, N.J.

on Monday evening (date), October 19, 2020

at 8:00 p.m. or as soon thereafter as the applicant may be

heard, to hear and consider the application/appeal of _____

34 Highgate Terrace LLC

for _____

① Maximum lot coverage of 33.9%.
Where 30% is allowed.

② Total improved lot coverage of 47.9%
Where 35% is allowed.

The said premises are designated as Lot(s): 19
Block: 323

on the current Tax Assessment Map of the Borough of Bergenfield, and are commonly known by street address as:

34 Highgate Terrace
These premises are bounded by Westminster Gate
and New Bridge Road

Any maps and documents for which approval is sought by the applicant are available for public inspection between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday, at the Construction Code Office, located in the Municipal Building, 198 North Washington Avenue, Bergenfield. All persons or property owners interested in this appeal may be heard either in favor of or opposed to the application before the Board at the aforesaid time and place.

By order of the Board of Adjustment of Bergenfield

AFFIDAVIT BOARD OF ADJUSTMENT

OF THE

BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY

COUNTY OF BERGEN

BOROUGH OF BERGENFIELD

SS:

34 Highgate Terrace 11c
Name of Applicant

Ari Becher being dully sworn deposes
and says; that he reside at number 606 Roberts Rd, Englewood Cliffs in the state of
NJ, and says that he is the appellant making appeal

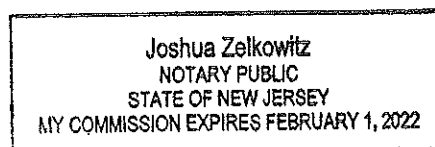
for a variation/appeal of the provisions of the Provisions of the Zoning
Ordinance of the of the Borough of Bergenfield in connection with the
property which is the subject matter of this appeal and known as
number 34 designated as Block 323 and Lot 19 on
the Assessment Map of the Borough of Bergenfield. That all statements
made in this application, and statements made in the plans submitted
herewith are true. The applicant further states that he is ready and able
to proceed with the construction if and when the application is granted.

Sworn to me this- 16th
day of September 20 20

[Signature]
Notary Public

[Signature]
Applicant

Note: All partnerships and corporations must supply a list of stockholder with
a 10% or greater share, they must also be represented by an Attorney at the hearing.



AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

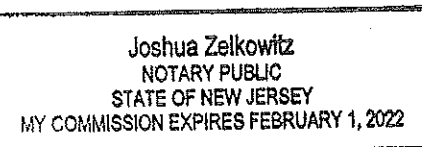
Ari Beeher of full age, dully sworn according to the law, deposes and says that he resides at 66 Roberts Rd in the Borough of Englewood Cliffs in the county of Bergen in the State of NJ that he is the owner in fee of real property lying in the Borough of Bergenfield, known and designated as number 34 Highgate Terrace and the he hereby authorizes Ari Beeher + Jordan Rosenberg to make the within application in his behalf and that the statements in the said application are true.

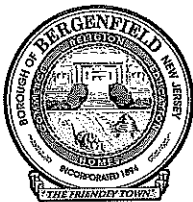
Sworn to before me this 16th
Day of September 20 20

[Signature]
Owner

[Signature]
Public Notary

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.





BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.

(201) 387-4055 EXT. 1-4092

FAX: (201) 385-7376

September 14, 2020

34 Highgate Terrace LLC
34 Highgate Terrace
Bergenfield, NJ 07621

RE: New Single Family

Dear 34 Highgate Terrace LLC

Your application for a new single family has been denied for the following reason:

1. Maximum lot coverage required 30% or 1,800 sq. feet. Proposed lot coverage 33.9% or 2,033 sq. feet.
2. Required improved lot coverage 35% or 2,100 sq. feet. Proposed 47.9% or 2,876 sq. feet.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Michael Ravenda
Zoning Officer



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NJ 07621
(201) 387-4055 x 4 FAX (201) 385-7376

TAX COLLECTOR'S CERTIFICATION PAYMENT OF PROPERTY TAXES

Date 09-16-2020
Block 323 Lot 19 Address 34 Highgate Terrace, Bergenfield
Owners Name 34 Highgate Terrace LLC
Owner's Address 34 Highgate Terrace, Bergenfield
Phone Number " " Cell Number 917 747 5757
Application for: ☐ Board of Adjustment ☐ Planning Board
☒ Building Department Permit

Description of Work to be performed: New Single family House

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit From the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current ☒ Yes ☐ No Last Quarter Paid On: 8/4/20
(Printout Attached)

Tax Collector/Deputy Tax Collector Certification:

[Signature]
Certification Number T-8454 Date: 9-17-20

Proposed Single Family Residence

34 Highgate Terr. Bergenfield, New Jersey

PROJECT DESCRIPTION: PROPOSED ADDITION & RENOVATION		BLOCK: 323	LOT: 49
ZONE: R-5, SUBJECT TO R-5 REQUIREMENTS		BUILDING CODES USED: BERGENFIELD TOWN ORDINANCE	
LOT SIZE	EXISTING	MIN. REQ'D	PROPOSED
AREA	6,000 SF	6,000 SF	(NO CHANGE)
WIDTH	50 FT	50 FT	(NO CHANGE)
DEPTH	120 FT	100 FT	(NO CHANGE)

SETBACKS	REQ'D	PROPOSED	VARIANCE REQ'D
FRONT YARD	25 FT	25.25 FT	NO
R SIDE YARD	7.5 FT	7.58 FT	NO
L SIDE YARD	7.5 FT	7.58 FT	NO
COMBINED SIDE YARD	45 FT	45.16 FT	NO
REAR YARD	25 FT	27.75 FT	NO
MAXIMUM BUILDING HEIGHT	30 FT/2 STORY	30 FT/2 STORY	NO
MAXIMUM LOT COVERAGE (BUILDING COVERAGE)	1800 SF (30.0 %)	2,033 SF (33.9%)	YES
TOTAL IMPROVED LOT COVERAGE	2,100 SF (35.0 %)	2,876 SF (47.9%)	YES

LOT COVERAGE (BUILDING)	
IMPROVED COVERAGE	PROPOSED
MAIN DWELLING	1,919 SF
COVERED FRONT PORCH	114 SF
TOTALS (% OF ENTIRE LOT AREA)	2,033 SF

BUILDING CHARACTERISTICS	
BUILDING CLASSIFICATION	SINGLE FAMILY RESIDENCE
USE GROUP	R5
CONSTRUCTION TYPE	5B
NUMBER OF STORIES	2
AREA OF LARGEST FLOOR	1,928 SF (2ND FL.)
NEW BUILDING AREA	3,847 SF (1ST + 2ND)
VOLUME OF NEW STRUCTURE	59,280 CUFT.

TOTAL IMPROVED LOT COVERAGE	
IMPROVED COVERAGE	PROPOSED
MAIN DWELLING	1,919 SF
COVERED FRONT PORCH	114 SF
FRONT STEP	6 SF
DRIVEWAY	524 SF
A/C UNITS (2)	42 SF
FRONT WALKWAY	32 SF
REAR PATIO	238 SF
SIDE WALKWAY	31 SF
TOTALS (% OF ENTIRE LOT AREA)	2,876 SF

ALL DRAWINGS HERE WITHIN SHALL CONFORM TO THE LATEST LOCAL AND STATE CODES AS LISTED BELOW:

INTERNATIONAL RESIDENTIAL CODE/2018, NJ ED (IRC W/ NJ EDITS FROM 321)

NATIONAL STANDARD PLUMBING CODE/2018 (NAPC 522-3.15)

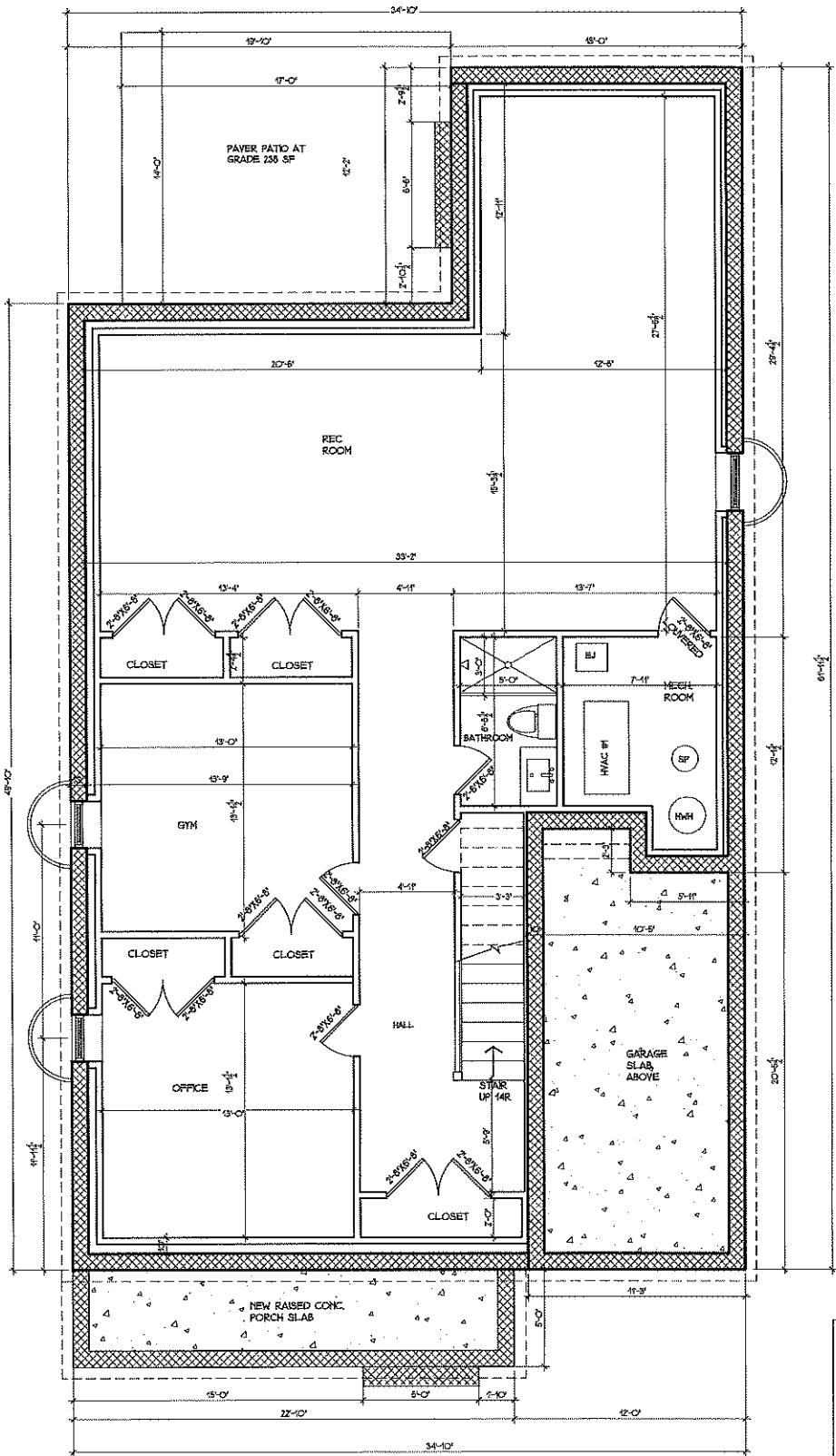
NATIONAL ELECTRICAL CODE (NFPA 70)/2017 (NAPC 523-3.15)

ENERGY SUBCODE ASHRAE 90.1/2016

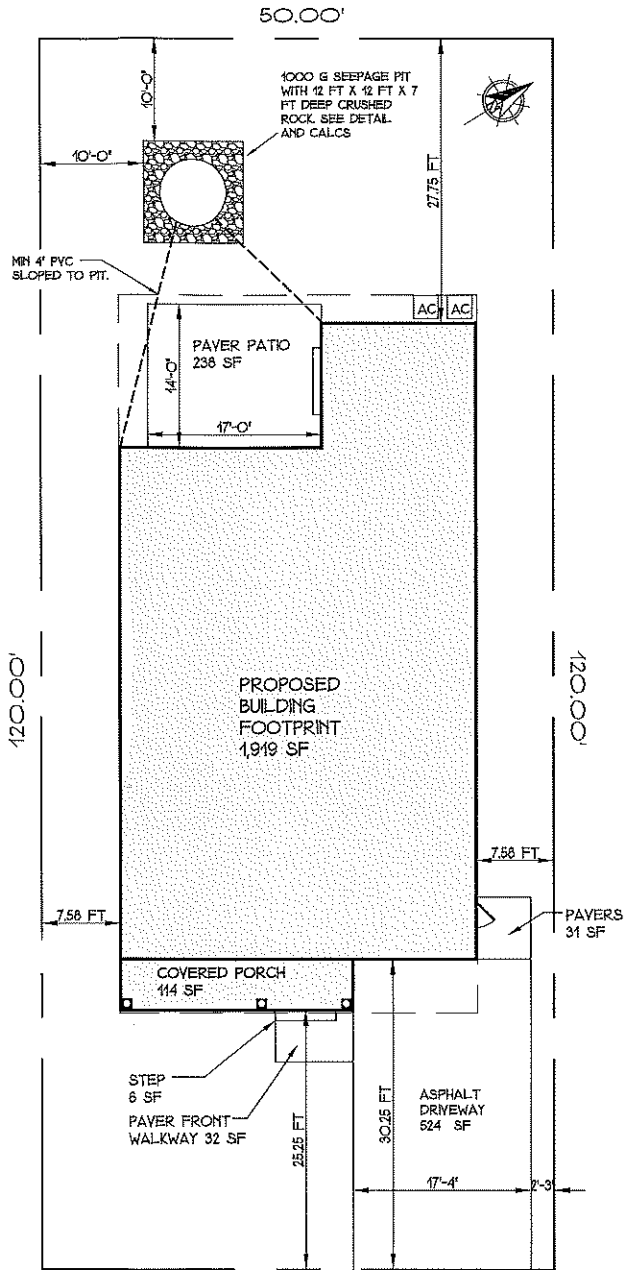
INTERNATIONAL MECHANICAL CODE/2018 (NAPC 523-3.20)

INTERNATIONAL FUEL GAS CODE/2018 (NAPC 523-3.22)

ELEVATOR SUBCODE (WHEN APPLICABLE) NAPC 523-12



2 BASEMENT FLOOR PLAN
A-00 SCALE: 1/4" = 1'-0"



1 SITE PLAN
A-00 SCALE: 1" = 1'-0"

RAINWATER RUNOFF CALCULATIONS

PROPOSED IMPERVIOUS AREA = 2,876 S.F.

DESIGN BASIS:
1 GAL OF STORAGE / 1 S.F. OF IMPERVIOUS AREA
RUNOFF COEFFICIENT: 1.0

RUNOFF VOLUME: 2,876 GAL. REQ'D

TOTAL VOLUME OF SEEPAGE PIT PROVIDED:
USE (1) PITS = 3,837 GAL. PROVIDED

(SEE SEEPAGE PIT VOLUME CALCULATIONS)

USE (1) 6' DIA. X 6.5' DEEP SEEPAGE PITS IN
A 3/4" STONE BED OF 12' X12' X 7' DEEP

SEEPAGE PIT VOLUME CALCULATIONS

PRECAST CONCRETE SEEPAGE PIT 6 FT DIA X 6.5 FT h
SHEA 1000G CYLINDRICAL DRYWELL OR EQUAL

VOLUME OF (1) SEEPAGE PIT

HEIGHT OF PIT = 6.5 ft
OUTSIDE DIAMETER OF PIT = 6 ft
INSIDE DIAMETER OF PIT = 5.34 ft
CAPACITY OF SEEPAGE PIT = 134 CF
1,002 gal

VOLUME OF STONE TRENCH

WIDTH = 12.0 ft
LENGTH = 12.0 ft
DEPTH = 7.0 ft

TRENCH VOLUME = L x W x D = 1,008 c.f.

LESS OUTER VOLUME OF SEEPAGE PIT = $\pi R^2 \times D$ = 183 cf

NET VOLUME = 825 cf

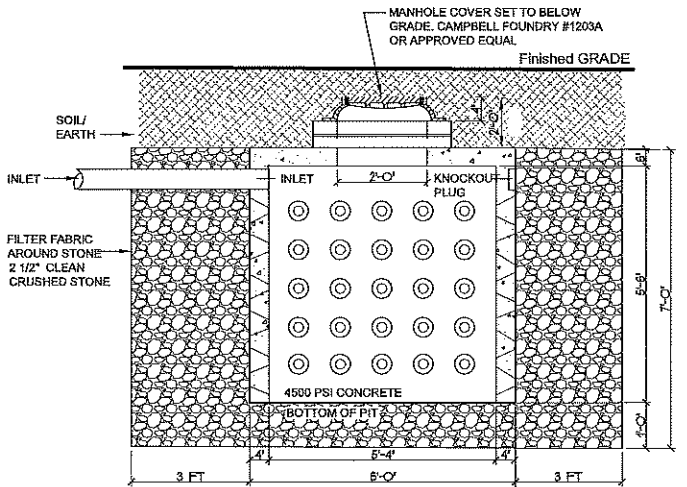
VOID RATIO = 0.4

VOLUME OF STONE VOIDS = 330 cf

(2,468 gal)

TOTAL VOLUME PER SEEPAGE PIT = 513 cf

(3,837 gal)



NOTES:
CONNECT SEEPAGE PITS TO TRENCH DRAIN WITH 4" MIN. PVC PIP

1000 G PRECAST CONC. SEEPAGE PIT (SHEA MANUF. OR EQUAL)

NOT TO SCALE



Jordan Rosenberg
ARCHITECT
& ASSOCIATES
27 N. Broad St
Ridgewood NJ
(201) 669-5614
jarchitect@gmail.com

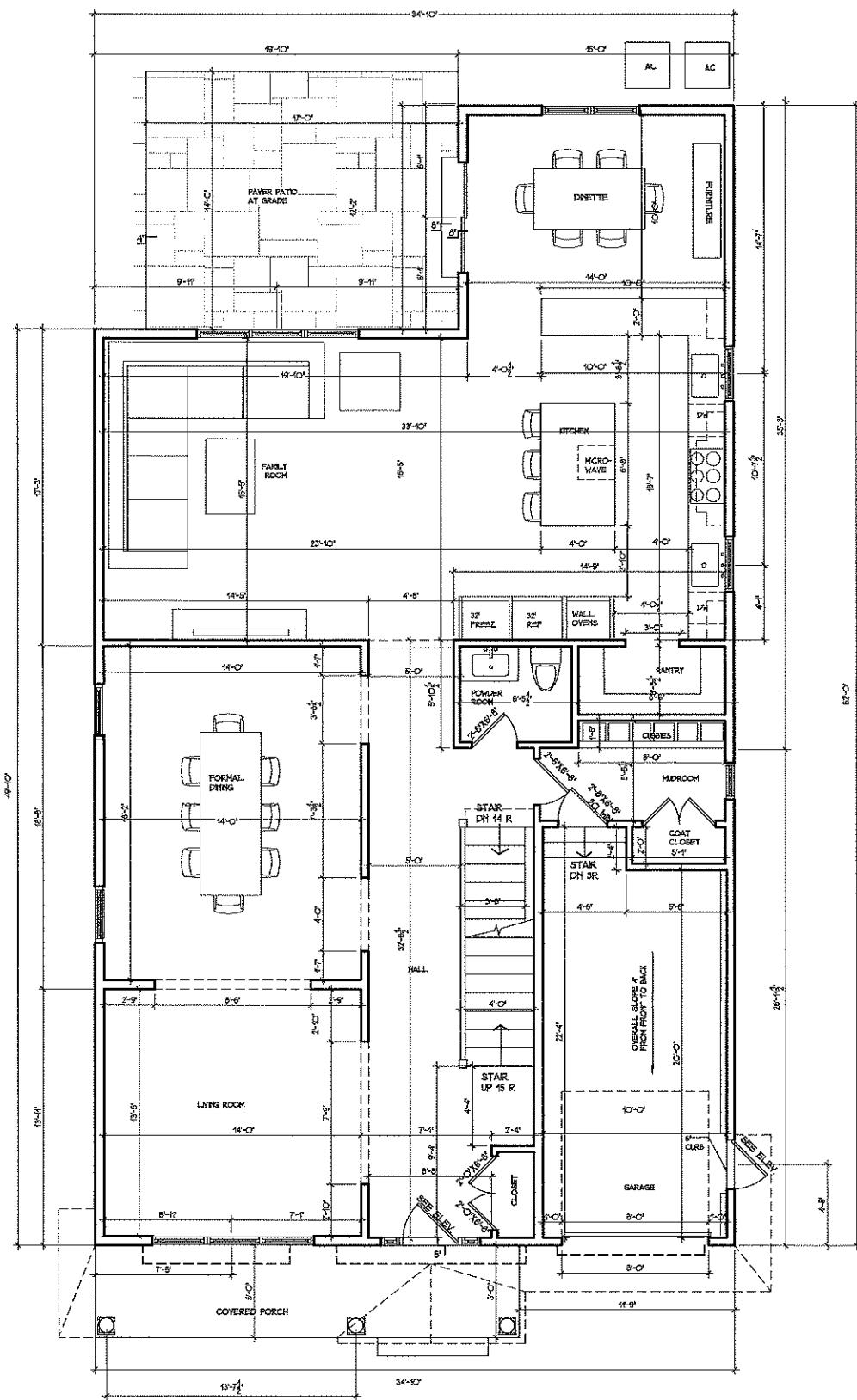
SET ISSUES & DATES:	
1-2-20	PLANS FOR CLIENT REVIEW
2-2-20	REVISED PLANS AS PER CLIENT COMMENTS
3-2-20	CONCEPTUAL DRAWINGS FOR CLIENT REVIEW
4-2-20	FOR LOANS REVIEW SUBMISSION FOR VARIANCE

PROPOSED SINGLE FAMILY RESIDENCE
34 HIGHGATE TERR. BERGENFIELD, NJ

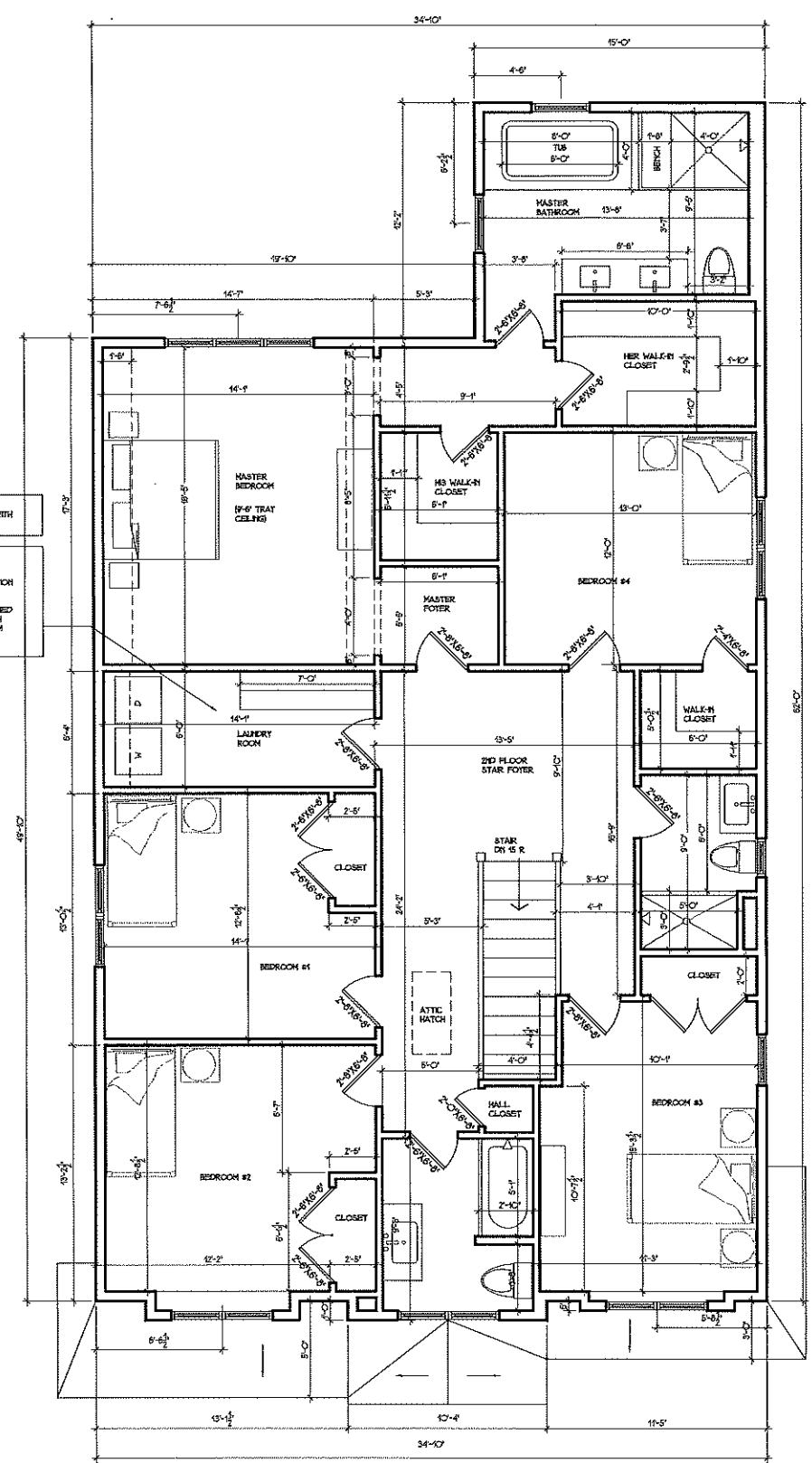
JORDAN
ROSENBERG, R.
NJ ARCHITECT:
#16495

DATE	DRAWN
9-10-20	JR

A-01



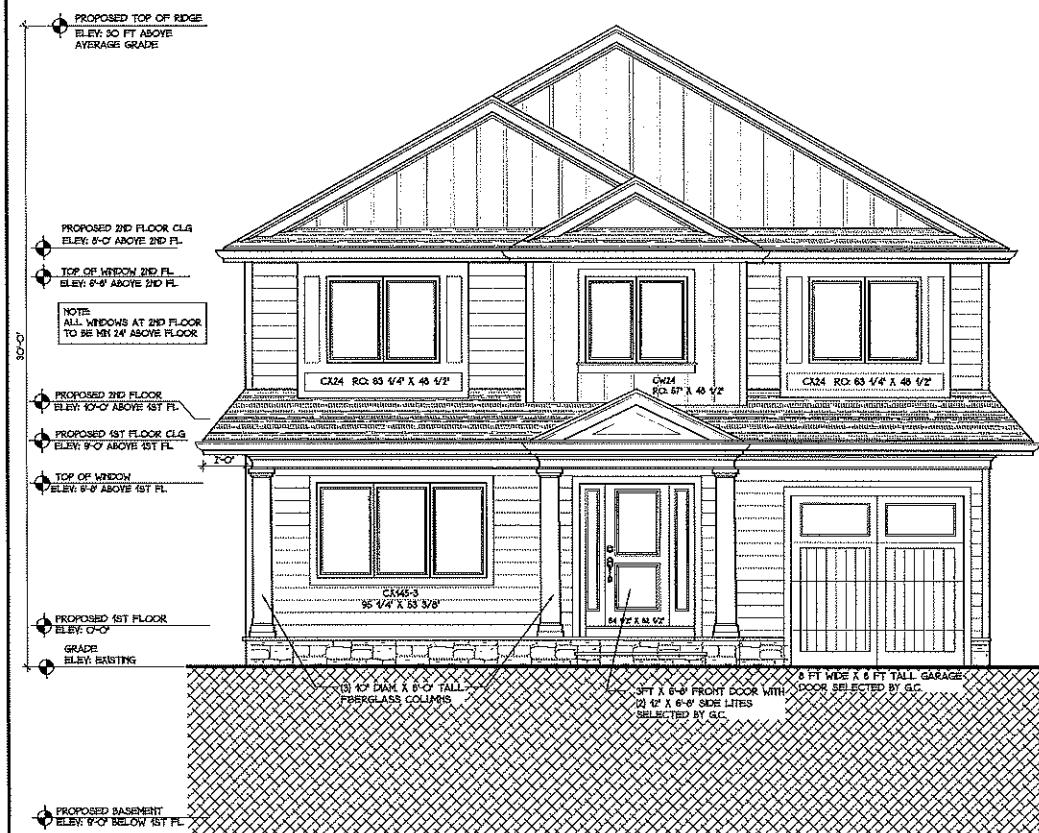
1 FIRST FLOOR PLAN
A-01 SCALE: 1/4" = 1'-0"



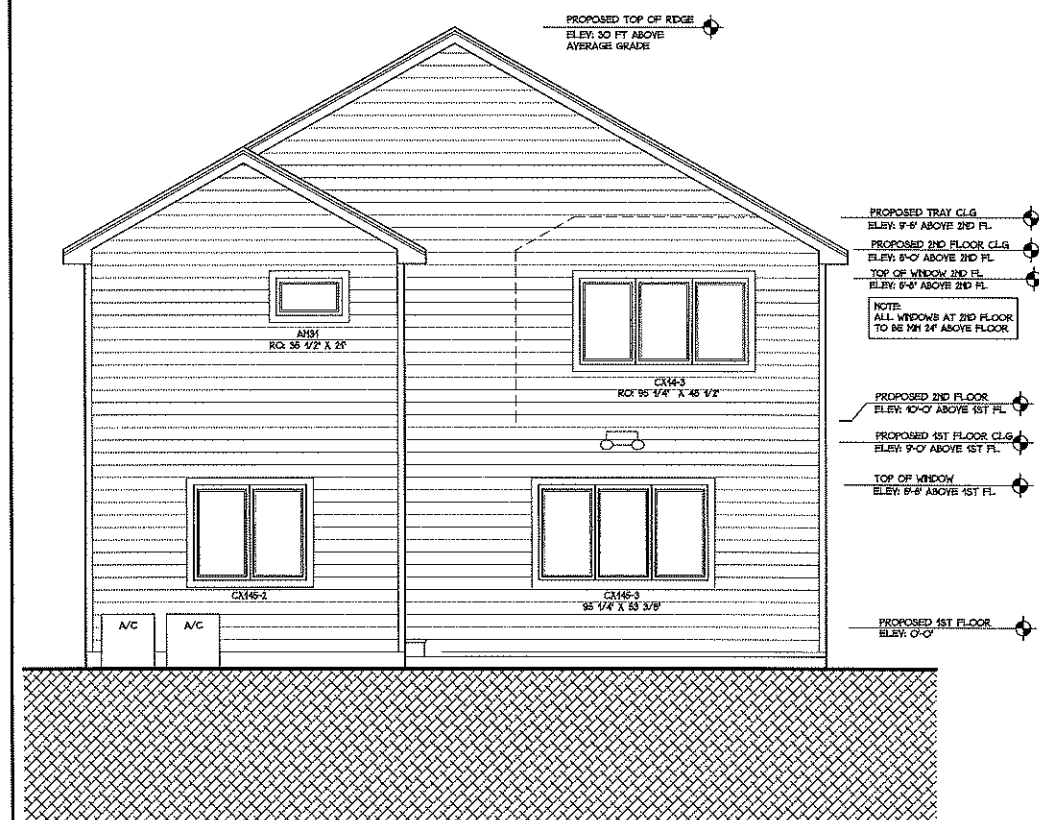
STAINLESS STEEL TUB PAN
UNDER CLOTHES WASHER WITH
OVERFLOW DRAIN

NOTE:
VENTILATION ACCESS FOR
DRIERS IN ACCORDANCE W/
MANUFACTURER'S INSTALLATION
REQUIREMENTS. VENTING
MATERIAL TO BE MIN. #20,
SMOOTH FINISH, NOT FASTENED
WITH SCREWS. INSTALLATION
AND MATERIAL TO CONFORM
TO INTERNAL MECHANICAL
CODES SEC. 904.5 AND 904.1

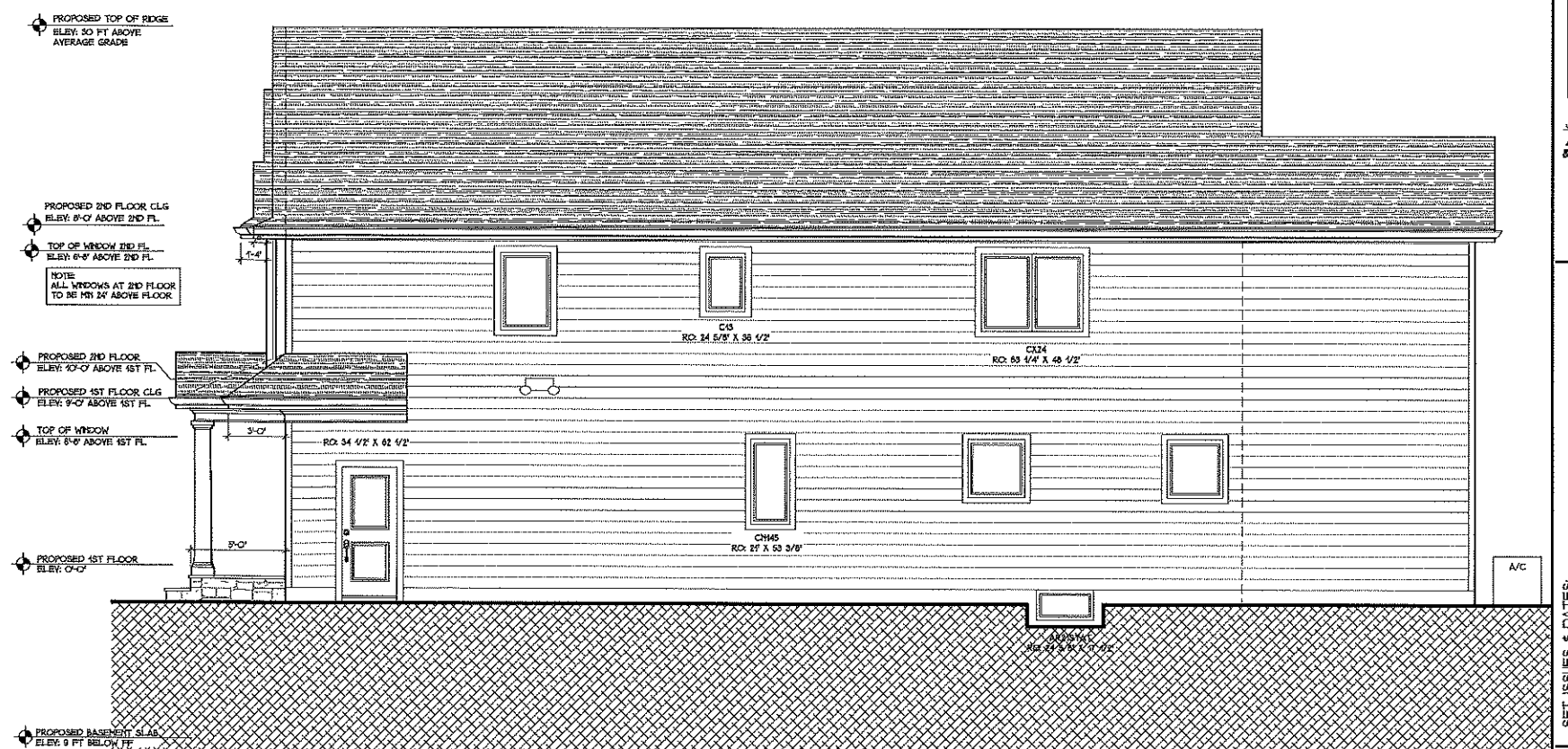
2 SECOND FLOOR PLAN
A-01 SCALE: 1/4" = 1'-0"



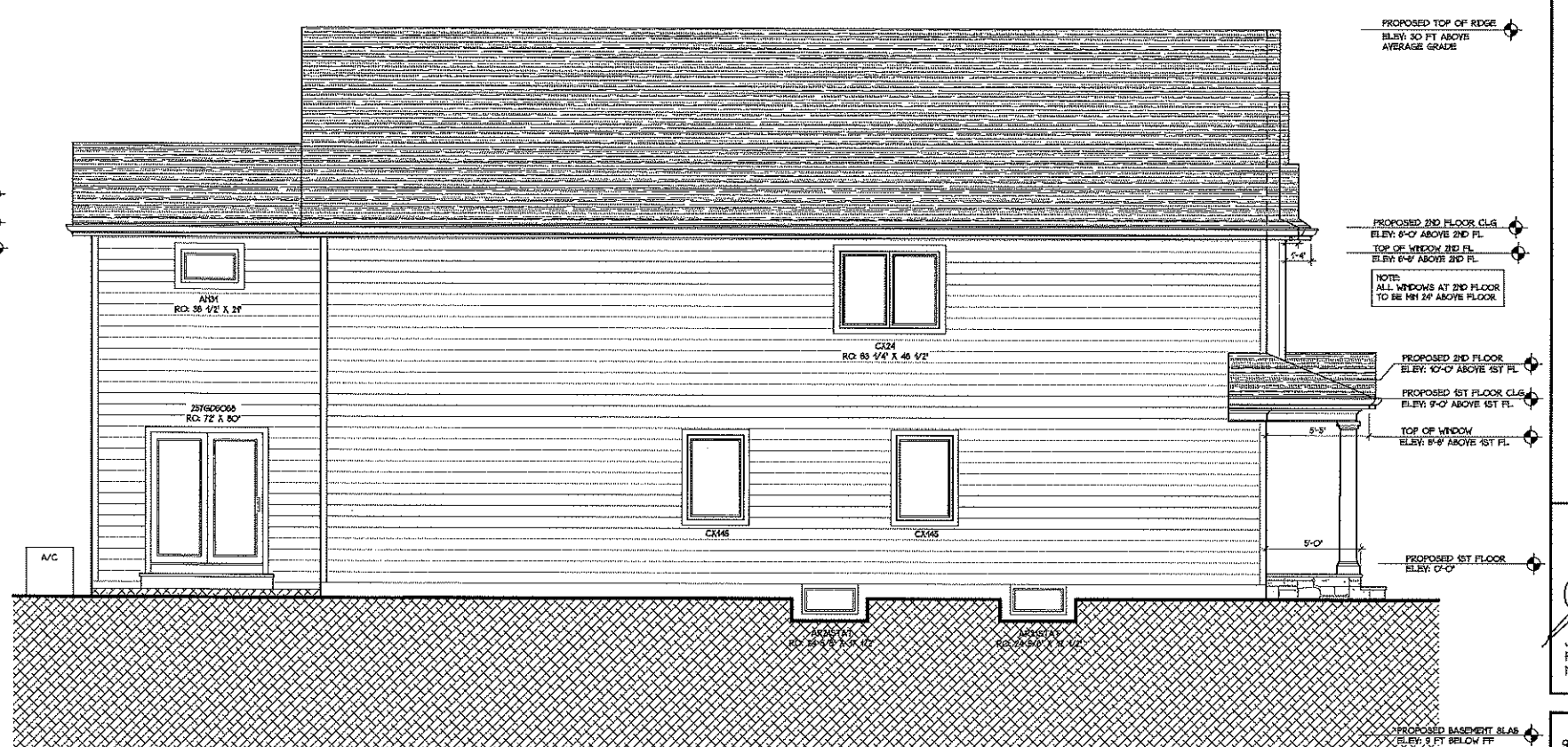
1 FRONT ELEVATION
A-O2 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A-O2 SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION
A-O2 SCALE: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
A-O2 SCALE: 1/4" = 1'-0"